

Maintenance Building Remodel Grays Harbor Transit Hoquiam, Washington

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Grays Harbor Transit
Hoquiam, Washington

OTHER INFORMATION

EXISTING CONDITIONS

THE DRAWINGS CONTAIN REFERENCE TO EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.

SUBMITTING A BID SHALL INDICATE THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS & WILLINGNESS TO PROVIDE TO PROVIDE LABOR, MATERIALS & EQUIPMENT NECESSARY TO COMPLETE THE WORK INTENDED BY THE CONTRACT DRAWINGS.

GENERAL NOTES
















THESE GENERAL NOTES ARE TO BE USED AS A SUPPLEMENT TO THE SPECIFICATIONS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, SPECIFICATIONS, THESE GENERAL NOTES & THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, IN WRITING, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK.

THE CONTRACTOR SHALL VERIFY & COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.

STABILITY OF THE STRUCTURE, PRIOR TO COMPLETION, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO: JOBSITE SAFETY, ERECTION MEANS, METHODS & SEQUENCES, TEMPORARY SHORING, FORMWORK & BRACING, USE OF EQUIPMENT & CONSTRUCTION PROCEDURES.

CONSTRUCTION OBSERVATION BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IS FOR CONFORMANCE WITH DESIGN ASPECTS ONLY & IS NOT INTENDED, IN ANY WAY, TO REVIEW THE CONTRACTOR'S CONSTRUCTION PROCEDURES.

SYMBOL LEGEND

	SHEAR WALL IDENTIFICATION
	WALL TYPE IDENTIFICATION
ROOM NAME 	ROOM IDENTIFICATION
	WINDOW IDENTIFICATION
	DOOR IDENTIFICATION
	ELEVATION IDENTIFICATION
	DETAIL IDENTIFICATION
	SECTION IDENTIFICATION
	EQUIPMENT IDENTIFICATION
	GRID IDENTIFICATION
	REVISION IDENTIFICATION
	CROSS BRACING IDENTIFICATION
	PORTAL FRAME IDENTIFICATION
	HOLDOWN IDENTIFICATION
	SPOT ELEVATION IDENTIFICATION

CODE INFORMATION

BUILDING CODE

INTERNATIONAL EXISTING
BUILDING CODE:

2018 EDITION

CLASSIFICATION OF WORK: ALTERATION - LEVEL 2

FEMA SUBSTANTIAL IMPROVEMENT CALCULATION

2023 ESTIMATED ASSESSED VALUATION:	\$1,300,000
ALLOWED COST: 50% MINIMUM THRESHOLD:	\$650,000
PROPOSED COST: ESTIMATED IMPROVEMENTS:	\$560,280
DEMOLITION: 19' x 27' = 513 SF @ \$100/SF = \$51,300	
12' x 12' = 144 SF @ \$100/SF = \$14,400	\$65,700
REMODEL: 19' x 27' = 513 SF @ \$300/SF = \$153,900	
12' x 12' = 144 SF @ \$500/SF = \$72,000	
31' x 9' = 279 SF @ \$300/SF = \$83,700	
	\$309,600
SLAB DEMO & PATCHING:	\$40,000
FINISHES:	\$21,600
FIRE SPRINKLING SYSTEM:	\$30,000
SUBTOTAL:	\$466,900
CONTINGENCY - 20%:	\$93,380
TOTAL ESTIMATED COST:	\$560,280

FIRE PROTECTION SYSTEMS: AUTOMATIC SPRINKLER: EXISTING
FIRE ALARM & DETECTION: EXISTING

EXISTING BUILDING AREA:			
BUSINESS:	GROUP B:	LOWER FLOOR:	2,820 SF
		UPPER FLOOR:	1,230 SF
FACTORY/INDUSTRIAL:	GROUP F-1:	LOWER FLOOR:	6,000 SF
		UPPER FLOOR:	1,560 SF
		TOTAL:	11,610 SF

OCCUPANCY SEPARATION: GROUP B -- GROUP F-1: 0 HR

CONSTRUCTION TYPE: V-B STRUCTURAL ELEMENTS, EXT. WALLS & INT. WALLS ARE OF ANY MATERIALS PERMITTED BY THE IBC.

FIRE-RESISTANCE RATING:

STRUCTURAL FRAME:	0 HOURS
BEARING WALLS - INT:	0 HOURS
BEARING WALLS - EXT:	0 HOURS
NONBEAR. WALLS - INT:	0 HOURS
FLOOR CONSTRUCTION:	0 HOURS
NONBEAR. WALLS - EXT:	0 HOURS
ROOF CONSTRUCTION:	0 HOURS

ALLOWABLE BUILDING AREA: TABLE 506.2 - MIXED OCCUPANCY, ONE-STORY BUILDING F-1 (MOST RESTRICTIVE), SPRINKLERED = 25,500 SF

ACTUAL BUILDING AREA: 11,610 SF

ALLOWABLE BUILDING STORIES: TABLE 504.4 F-1, SPRINKLERED: 2 STORIES

ACTUAL BUILDING STORIES: 2 STORIES

ALLOWABLE BUILDING HEIGHT: TABLE 504.3 B, F-1, SPRINKLERED: 60 FEET

ACTUAL BUILDING HEIGHT: 22 FEET

DEFERRED SUBMITTALS

FIRE SPRINKLER & FIRE ALARM SYSTEMS

DRAWING INDEX

A001	PROJECT INFORMATION, PROJECT TEAM, DRAWING INDEX, CODE INFORMATION, MAPS & OTHER INFORMATION
A200	DEMOLITION FLOOR PLAN & NOTES
A210	FLOOR PLANS, INTERIOR ELEVATION, WALL SECTION & NOTES
A300	ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS & NOTES
A310	DOOR & FRAME SCHEDULE & DETAILS
E210	SCHEMATIC LIGHTING FLOOR PLANS & NOTES
E211	SCHEMATIC ELECTRICAL FLOOR PLANS & NOTES

PROJECT INFORMATION

PROPERTY DESCRIPTION

LEGAL DESCRIPTION: HEERMANS ANNEX LOTS 6-18 INC TGV VACS BLK 80

PARCEL NUMBER: 052208000600

SITE ADDRESS: 705 30TH STREET, HOQUIAM, WA

ZONING ORDINANCE INFORMATION

ZONING DISTRICT: C1 - GENERAL COMMERCIAL DISTRICT
USE CLASS: TRUCK & HEAVY EQUIP. SERVICES ARE A PERMITTED USE.
LOT SIZE: APPROXIMATELY 3.3 ACRES.

ZONING ORDINANCE INFORMATION

ZONING DISTRICT: C1 - GENERAL COMMERCIAL DISTRICT
USE CLASS: TRUCK & HEAVY EQUIPMENT SERVICES ARE A PERMITTED USE.
LOT SIZE: APPROXIMATELY 3.3 ACRES.

PROJECT TEAM

OWNER

GRAYS HARBOR TRANSIT FACILITIES MAINT. SUPV: GREG FOUNTAIN, PROJECT MANAGER
MAINTENANCE MANAGER: TODD TOBECK
GENERAL MANAGER: KEN MEHIN
INFORMATION TECHNOLOGY: DAVID BOLIN
705 30TH STREET
HOQUIAM, WA 98550
(360) 532-2770

ARCHITECT OF RECORD

HARBOR ARCHITECTS LLC
PROJECT ARCHITECT: ALAN GOZART AIA
345 W WISHKAH STREET
ABERDEEN, WA 98520
(360) 532-0980

AREA MAP

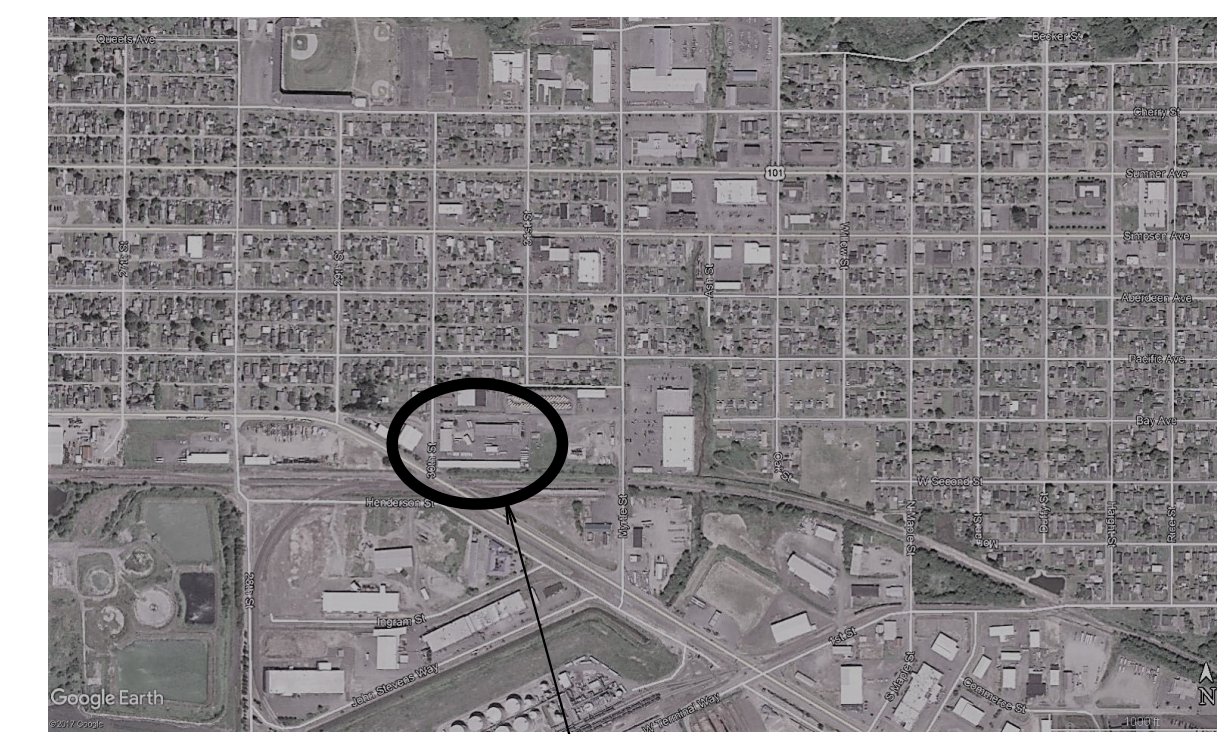
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LOCATION OF WORK

VICINITY MAP

NT5



LOCATION OF WORK

PERMIT SET

REVISIONS

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-	-	-

project number 19-12F

date 9.04.23

file name 1912F A001

drawn by MFK

checked by ACC

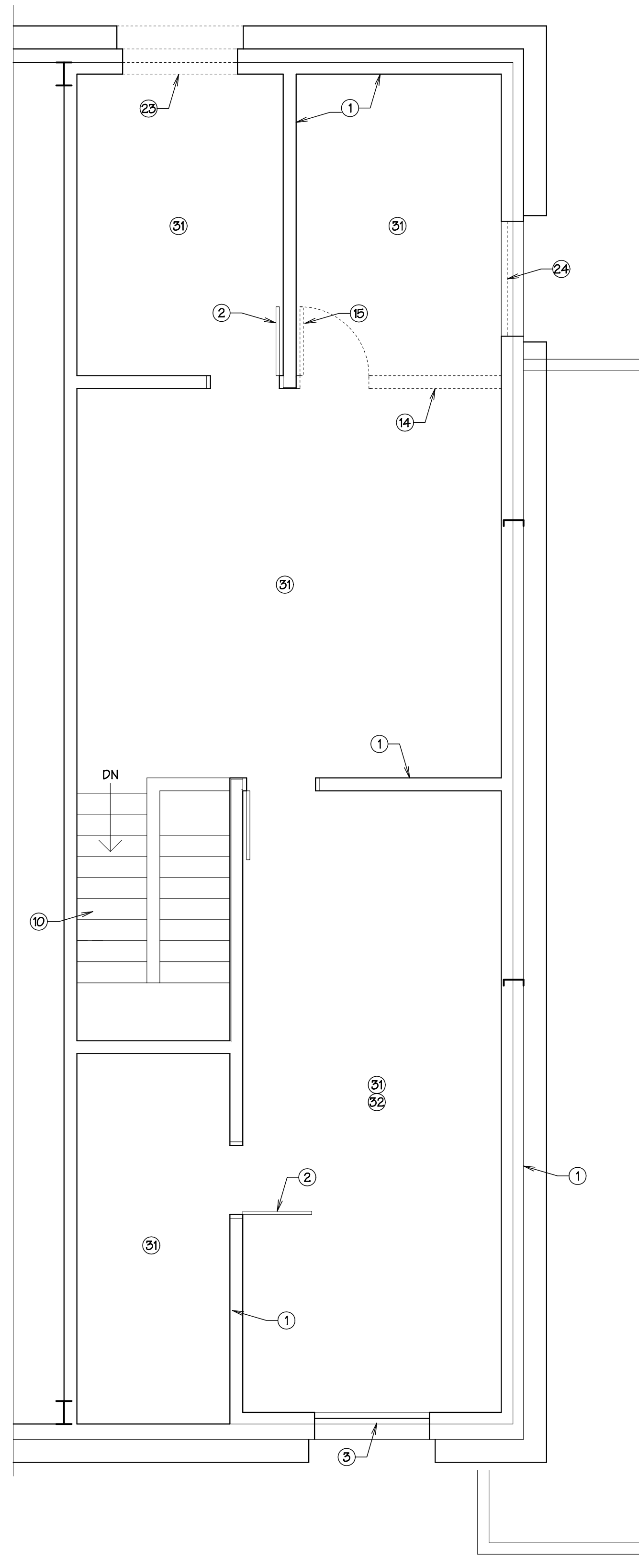
owner approval _____

A001

Harbor Architects LLC

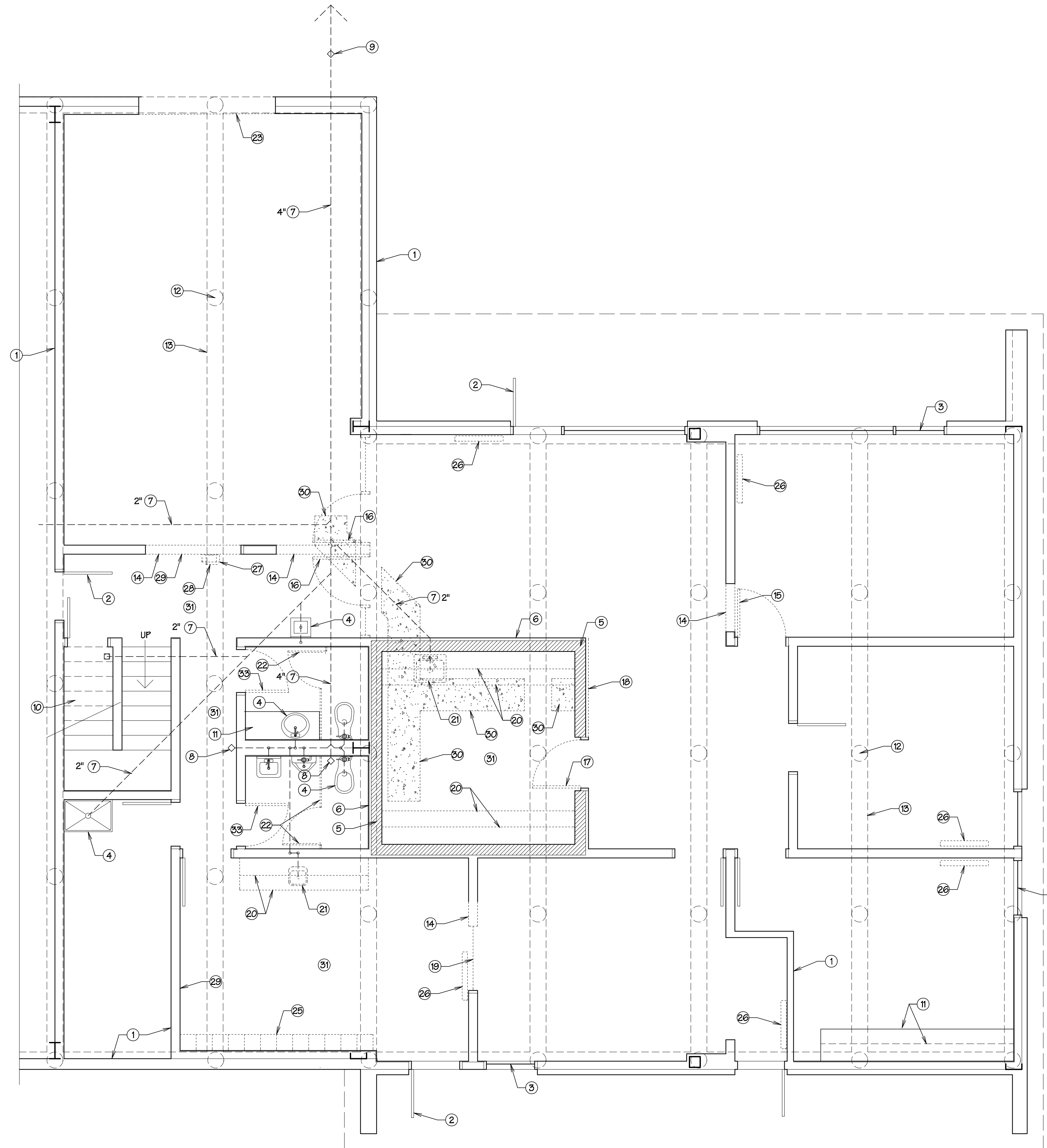
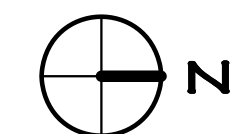
Harbor Place
345 West Wishkah Street
Aberdeen WA 98520
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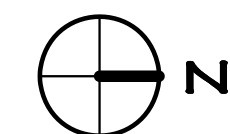
DEMOLITION
 UPPER PLAN

1/4" = 1' - 0"



DEMOLITION
 LOWER PLAN

1/4" = 1' - 0"



PLAN NOTES

- 1 EXISTING WALL, TYPICAL.
- 2 EXISTING DOOR, FRAME & HARDWARE, TYPICAL.
- 3 EXISTING WINDOW, TYPICAL.
- 4 EXISTING PLUMBING FIXTURE, TYPICAL.
- 5 EXISTING 8" CMU WALL, TYPICAL.
- 6 EXISTING FURRED WALL, TYPICAL.
- 7 APPROXIMATE LOCATION OF EXISTING UNDERSLAB WASTE PIPING, TYP. PER ORIGINAL DRAWINGS. FIELD VERIFY ALL LOCATIONS PRIOR TO SLAB REMOVAL. DEMOLISH EXISTING SLAB AS REQUIRED FOR NEW UNDER SLAB PIPING, TYPICAL. SEE SPECIFICATIONS FOR CUTTING EXISTING STRUCTURAL CONCRETE SLABS.
- 8 EXISTING WALL CLEANOUT.
- 9 EXISTING CLEANOUT.
- 10 EXISTING STAIRWAY.
- 11 EXISTING CASEWORK.
- 12 EXISTING PILES, TYPICAL.
- 13 EXISTING CONCRETE GRADE BEAMS, TYPICAL.
- 14 REMOVE EXISTING WALL, TYPICAL. DISPOSE ALL DEBRIS OFF SITE, TYP.
- 15 REMOVE EXISTING DOOR, FRAME, & HARDWARE, TYPICAL. DISPOSE ALL DEBRIS OFF SITE, TYPICAL.
- 16 REMOVE EXISTING DOOR, FRAME, RELITE FRAME, & HARDWARE. DISPOSE ALL DEBRIS OFF SITE, TYPICAL.
- 17 REMOVE EXISTING DOOR & HARDWARE. DISPOSE ALL DEBRIS OFF SITE, TYPICAL. PROVIDE INFL PLATES AT BUTT HINGE PREPS AT FRAME.
- 18 REMOVE EXISTING WOOD FURRING & WALL FINISH. DISPOSE ALL DEBRIS OFF SITE, TYPICAL.
- 19 REMOVE EXISTING RELITE & WALL BELOW. DISPOSE ALL DEBRIS OFF SITE, TYPICAL. SEE NOTE 21 ON SHEET A210 TO FINISH HEAD OF OF ROUGH OPENING.
- 20 REMOVE EXISTING CASEWORK. DISPOSE ALL DEBRIS OFF SITE, TYP.
- 21 REMOVE EXISTING PLUMBING FIXTURE. CUT & CAP ALL PIPING AS REQUIRED BEHIND REMAINING FINISHED SURFACES, TYPICAL.
- 22 REMOVE EXISTING TOILET PARTITIONS & DOORS. DISPOSE ALL DEBRIS OFF SITE. PATCH WALLS & FLOOR AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES, TYPICAL.
- 23 CUT OUT & REMOVE WALL SECTION FOR NEW WINDOW. DISPOSE ALL DEBRIS OFF SITE, TYPICAL.
- 24 REMOVE EXISTING WINDOW & DISPOSE ALL DEBRIS OFF SITE, TYPICAL.
- 25 REMOVE EXISTING LOCKERS & DISPOSE ALL DEBRIS OFF SITE.
- 26 REMOVE EXISTING BASEBOARD HEATERS & DISPOSE ALL DEBRIS OFF SITE, TYPICAL. TERMINATE EXISTING ELECTRICAL CONNECTIONS AS REQUIRED BY ALL APPLICABLE CODES. FIELD VERIFY EXACT NUMBER & LOCATIONS.
- 27 REMOVE EXISTING FIRE EXTINGUISHER & CABINET & SALVAGE FOR RE-USE.
- 28 REMOVE EXISTING DEFIBRILATOR & CABINET & SALVAGE FOR RE-USE.
- 29 REMOVE EXISTING TACKBOARDS & WHITEBOARDS & SALVAGE FOR RE-USE, TYPICAL. INSTALL IN NEW LOCATIONS AS DIRECTED BY OWNER. FIELD VERIFY EXACT NUMBER & LOCATIONS.
- 30 REMOVE EXISTING CONCRETE STRUCTURAL SLAB IN THIS APPROXIMATE LOCATION. CONTRACTOR SHALL DETERMINE EXACT BOUNDARY OF DEMOLITION. PAY PARTICULAR ATTENTION TO SECTION 03 20 00 REINFORCING CUTTING & PATCHING. AFTER PLUMBING WORK IS COMPLETE & REBAR IS INSPECTED, PATCH CONCRETE SLAB.
- 31 REMOVE EXISTING SHEET VINYL & DISPOSE ALL DEBRIS OFF SITE IN STRICT ACCORDANCE W/ ALL APPLICABLE RULES & REGULATIONS. SEE HAZMAT REPORT IN APPENDIX OF THE PROJECT MANUAL.
- 32 VERIFY EXISTING CARPET TILE IS INSTALLED OVER EXISTING SHEET VINYL. REMOVE PER NOTE 31 ABOVE.
- 33 REMOVE EXISTING DOOR & DISPOSE OFF SITE. SALVAGE EXISTING HARDWARE FOR RE-USE.

PERMIT SET

REVISIONS

no	

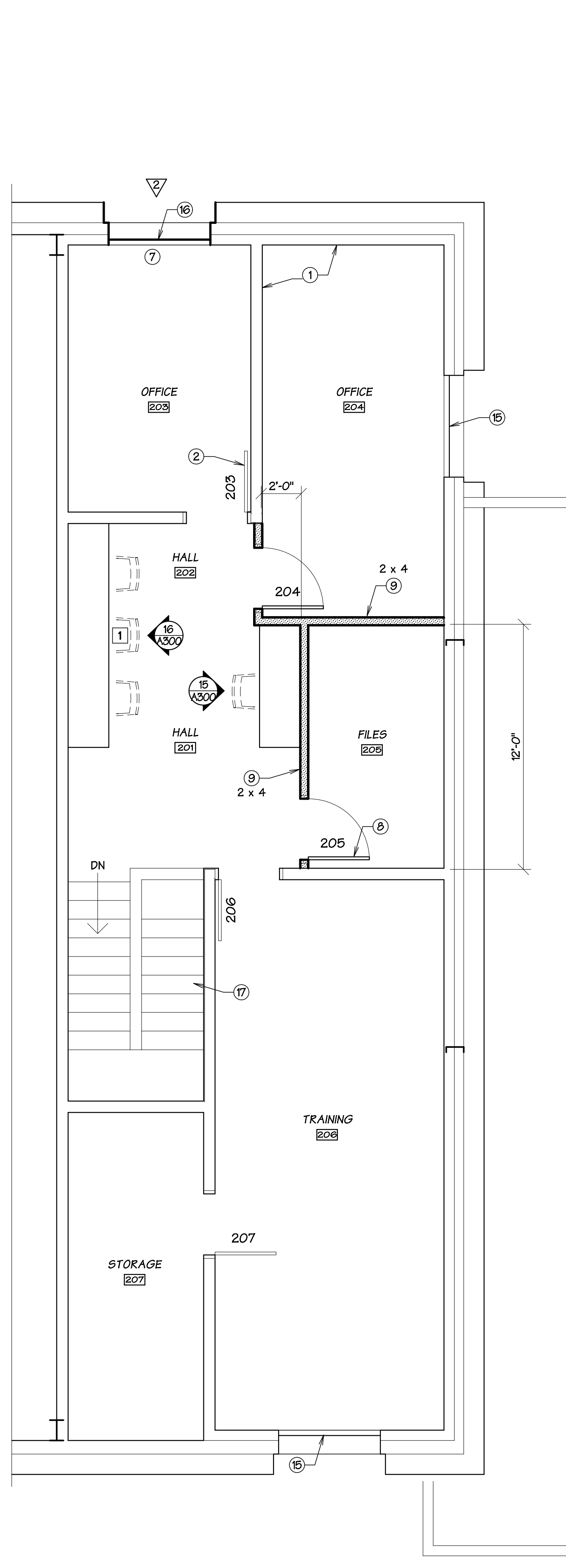
3399 REGISTERED ARCHITECT

 ALAN E. GOZART
 STATE OF WASHINGTON

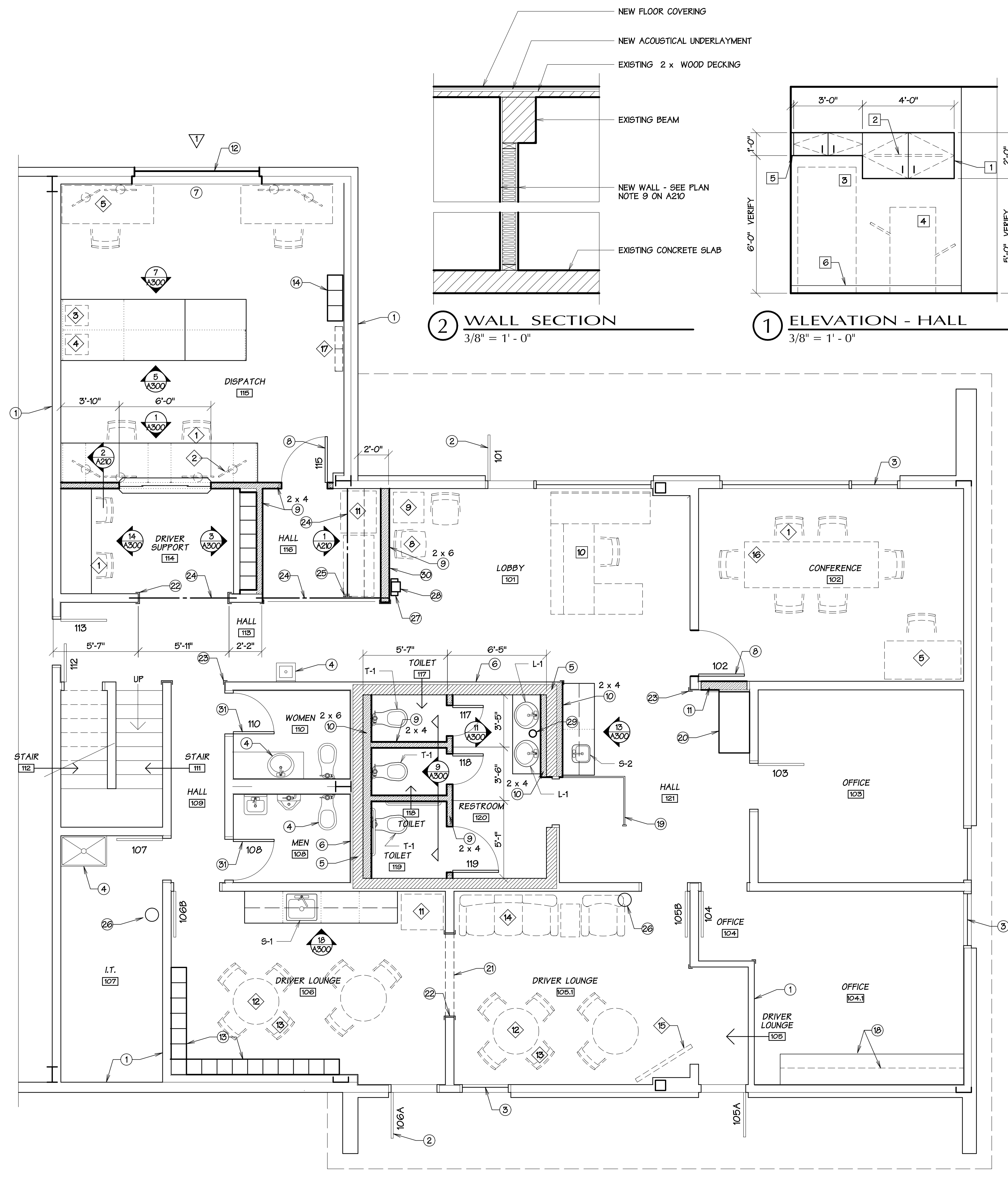
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file name	1912FPSEFinal
drawn by	AEG
checked by	ACG
owner approval	_____

title
 Demolition
 Floor Plans
 & Notes

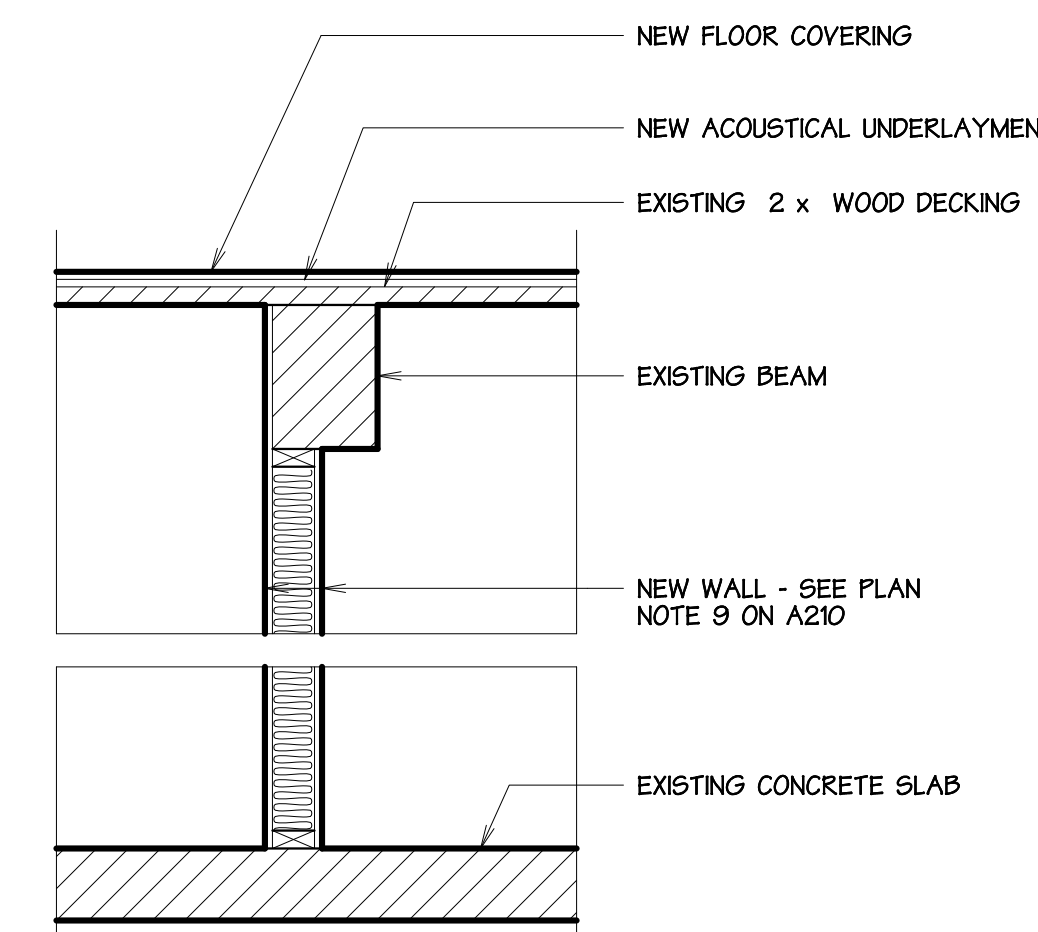
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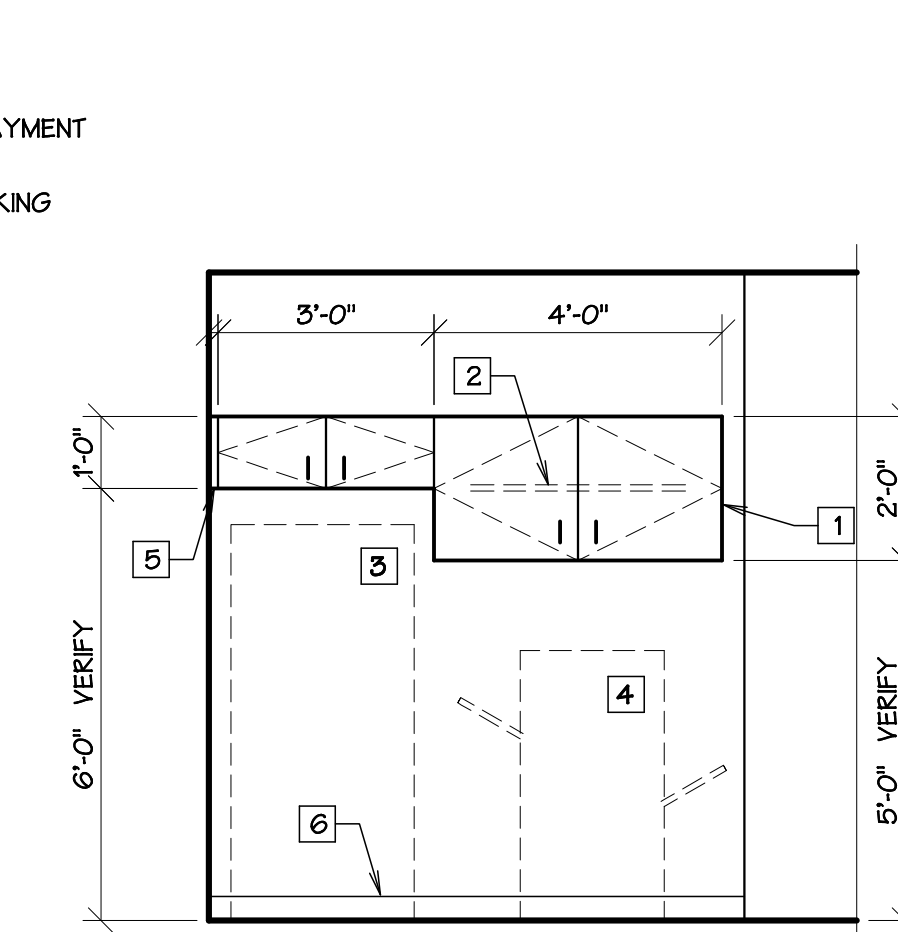
UPPER PLAN 1/4" = 1' - 0"
 0 3 9 15



LOWER PLAN 1/4" = 1' - 0"
 0 3 9 15



2 WALL SECTION
 3/8" = 1' - 0"



1 ELEVATION - HALL
 3/8" = 1' - 0"

ELEVATION NOTES

- 1 PLASTIC LAMINATE FACED CABINETS, TYPICAL. FINISH CABINET BOTTOMS & EXPOSED END, TYPICAL.
- 2 ADJUSTABLE SHELF, TYPICAL.
- 3 REFRIGERATOR/FREEZER BY OWNER - NIC.
- 4 COPIER/PRINTER BY OWNER - NIC.
- 5 SCRIBE STRIP, TYPICAL.
- 6 RUBBER BASE.

FIXT/FURN/EQUIP NOTES

NOTE: THESE ITEMS TO BE PROVIDED BY OWNER, TYPICAL.

- 1 DESK CHAIR, TYPICAL.
- 2 DISPATCH MONITOR, TYPICAL.
- 3 FAX MACHINE.
- 4 PRINTER.
- 5 FREE-STANDING DESK, TYPICAL.
- 6 UNDER-COUNTER REFRIGERATOR.
- 7 COPY/SCAN/PRINT MACHINE.
- 8 SIDE CHAIR, TYPICAL.
- 9 END TABLE, TYPICAL.
- 10 EXISTING WORKSTATION.
- 11 FULL-SIZE REFRIGERATOR/FREEZER.
- 12 3'-0" DIA. TABLE, TYPICAL.
- 13 STACKABLE CHAIR, TYPICAL.
- 14 SOFT LOUNGE SEATING, TYPICAL.
- 15 FLAT PANEL TV - WALL MOUNTED.
- 16 CONFERENCE TABLE.
- 17 WALL MOUNTED VERTICAL FILES

PLAN NOTES

- 1 EXISTING WALL, TYPICAL.
- 2 EXISTING DOOR, FRAME & HARDWARE, TYPICAL.
- 3 EXISTING WINDOW, TYPICAL.
- 4 EXISTING PLUMBING FIXTURE, TYPICAL.
- 5 EXISTING 8" CMU WALL, TYPICAL.
- 6 EXISTING FURRED WALL, TYPICAL.
- 7 PROVIDE HORIZONTAL LOUVER BLINDS AT THIS OPENING.
- 8 NEW WOOD DOOR, METAL FRAME, & FINISH HARDWARE, TYPICAL.
- 9 NEW WALL: 2 x WOOD STUDS (SEE PLAN FOR DIMENSION) @ 24" ON CENTER W/ 5/8" TYPE X GYPSUM BOARD EACH SIDE & SOUND INSULATION FULL DEPTH OF WALL, TYPICAL.
- 10 NEW FURRED WALL: 2 x WOOD STUDS (SEE PLAN FOR DIMENSION) @ 24" ON CENTER SPACED 1/2" FROM CMU WALL W/ 5/8" TYPE X GYPSUM BOARD ON ROOM SIDE, TYPICAL.
- 11 INFILL OPENING WHERE DOOR WAS REMOVED W/ 2 x FRAMING TO MATCH EXISTING WALL DEPTH. PROVIDE 5/8" TYPE X GYPSUM BOARD ON EACH SIDE & SOUND INSULATION FULL DEPTH.
- 12 PROVIDE NEW 8'-0" x 2'-0" NEW ALUMINUM STOREFRONT WINDOW TO MATCH ALL EXISTING INSTALLATION DETAILS.
- 13 PROVIDE (16) 12" x 12", 4-TIER LOCKERS. VERIFY EXISTING WALL CONSTRUCTION & PROVIDE SUITABLE BACKING FOR ATTACHMENT TO WALL.
- 14 PROVIDE (3) 12" x 12", 3-TIER LOCKERS. VERIFY EXISTING WALL CONSTRUCTION & PROVIDE SUITABLE BACKING FOR ATTACHMENT TO WALL.
- 15 REPLACE EXISTING WINDOW W/ UNIT TO MATCH EXISTING SIZE. TRIM INTERIOR & EXTERIOR TO MATCH EXISTING.
- 16 NEW WINDOW TO MATCH SIZE OF EXISTING WINDOW DESCRIBED IN NOTE 15 ABOVE. TRIM INTERIOR & EXTERIOR TO MATCH EXISTING.
- 17 EXISTING STAIR.
- 18 EXISTING CASEWORK.
- 19 PRIVACY SCREEN PROVIDED BY OWNER (NIC).
- 20 METAL STORAGE CABINET - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR. SECURE CABINET TO WALL.
- 21 FINISH HEAD OF ROUGH OPENING WHERE EXISTING WINDOW IS REMOVED W/ 5/8" TYPE X GYPSUM BOARD.
- 22 PROVIDE END WALL PROTECTOR AT ALL WALL ENDS, TYPICAL.
- 23 PROVIDE CORNER WALL PROTECTOR AT ALL WALL CORNERS, TYPICAL.
- 24 6 x 10 BEAM - PROVIDE (2) BEARING STUDS & (1) FULL-LENGTH STUD @ EACH END, TYPICAL.
- 25 PROVIDE SIMPSON HUGIO BEAM HANGER.
- 26 EXISTING FIRE EXTINGUISHER.
- 27 NEW LOCATION OF EXISTING FIRE EXTINGUISHER & CABINET. PROVIDE BACKING AS REQUIRED.
- 28 NEW LOCATION OF EXISTING DEFIBRILLATOR & CABINET. PROVIDE BACKING AS REQUIRED.
- 29 NEW FLOOR DRAIN.
- 30 POSSIBLE NEW LOCATION OF EXISTING TACKBOARDS & WHITEBOARDS - LOCATE ALL EXISTING BOARDS AS DIRECTED BY OWNER, TYPICAL. PROVIDE BACKING AS REQUIRED.
- 31 NEW DOOR IN EXISTING FRAME. RE-USE HARDWARE AS SCHEDULED.

PERMIT SET

REVISIONS		
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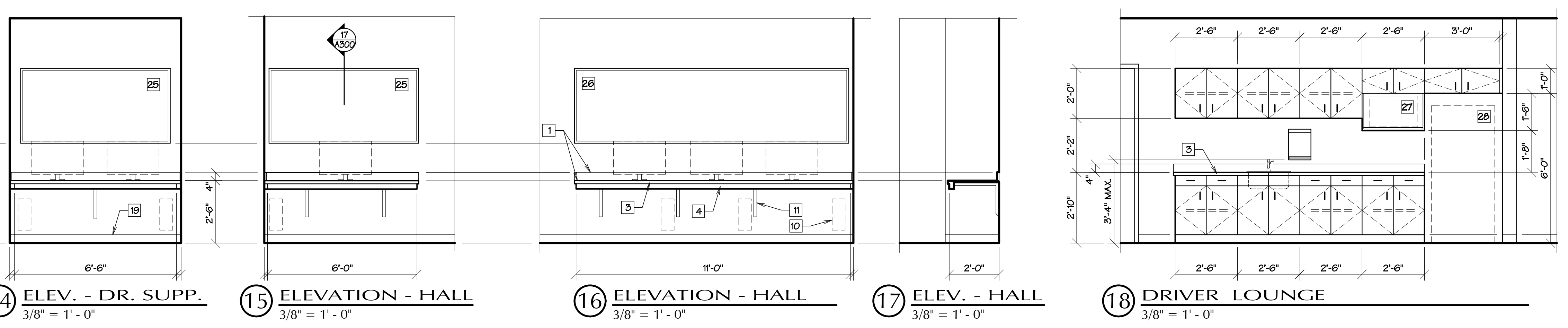
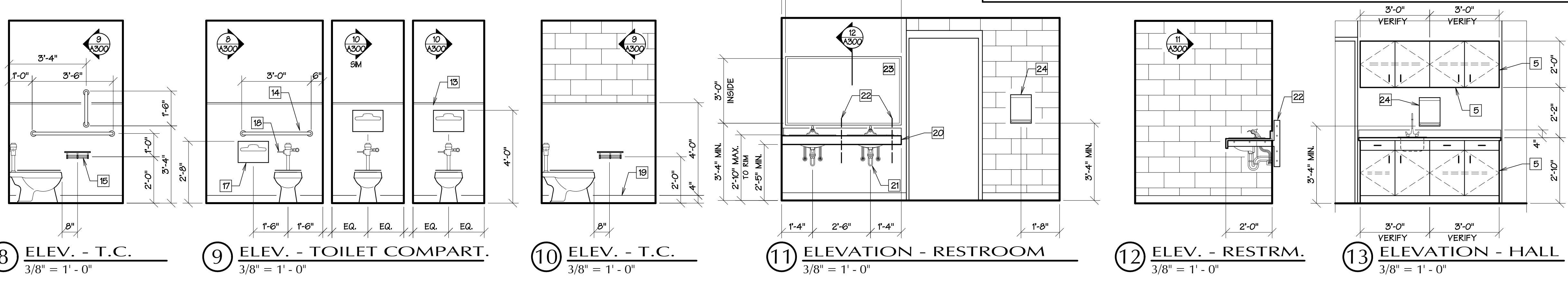
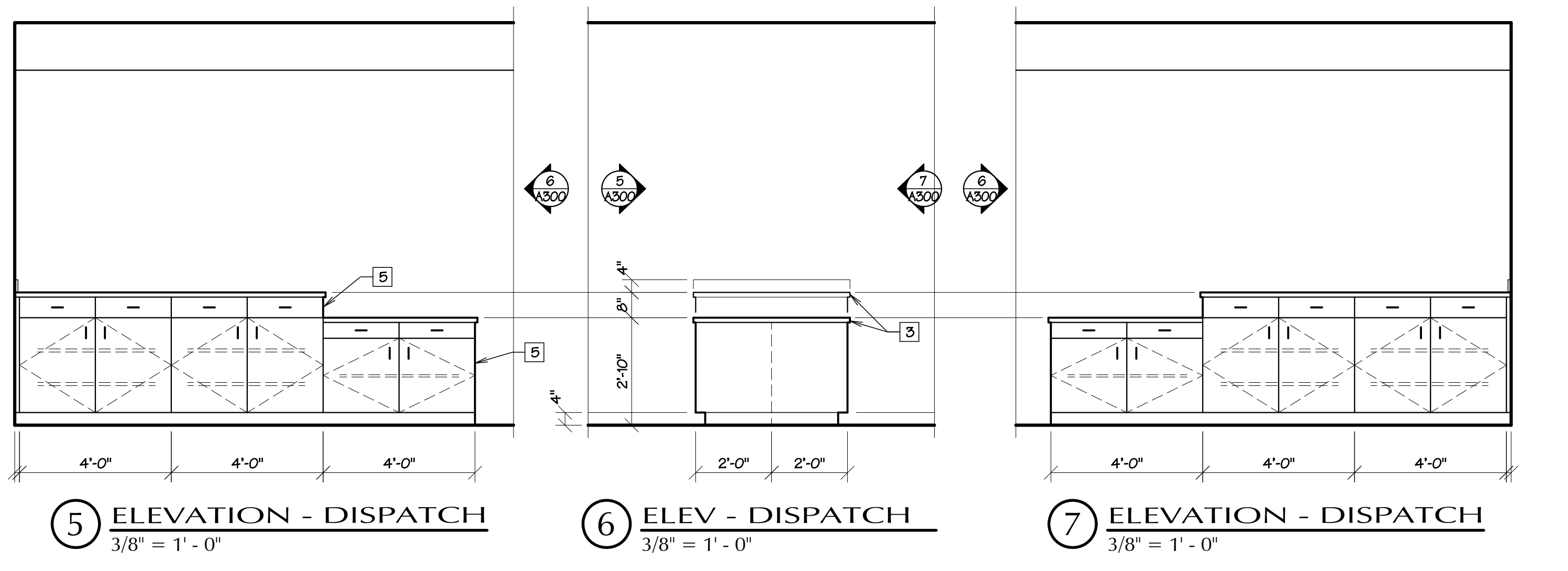
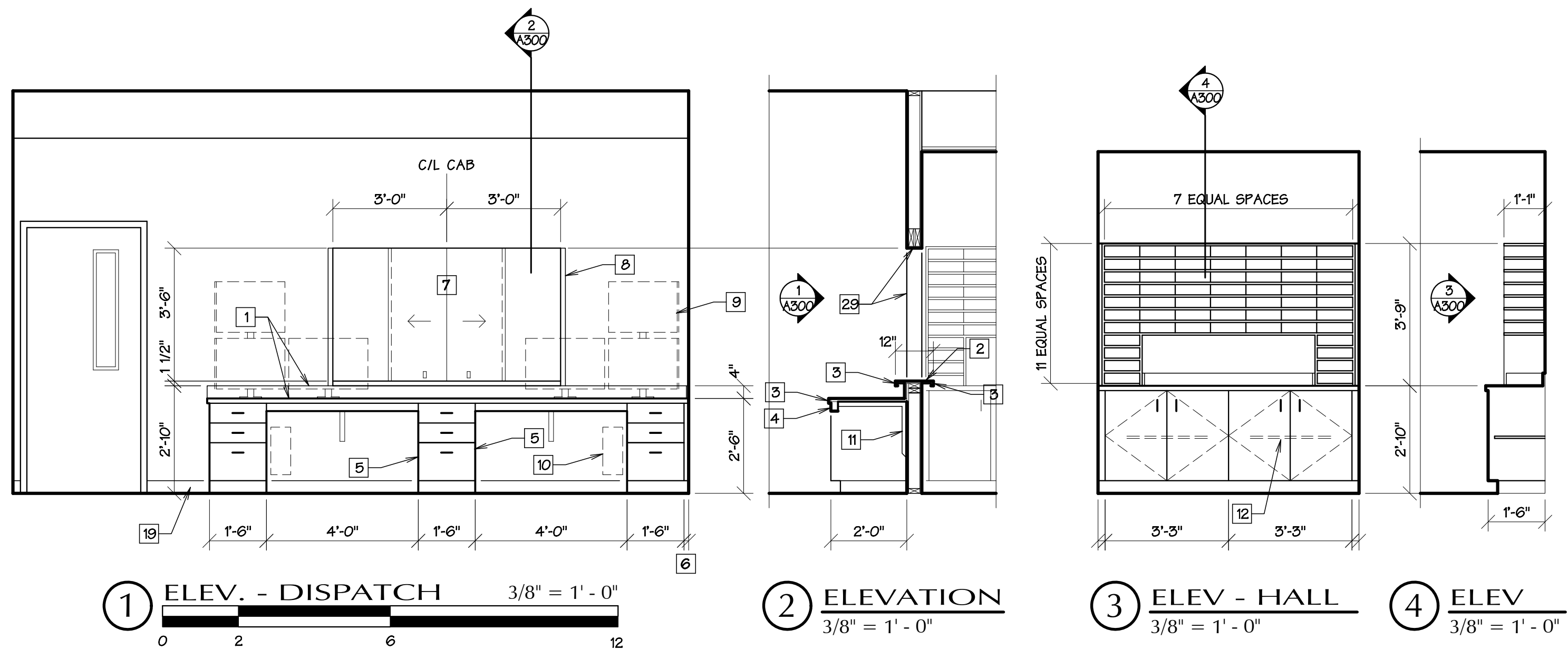
3399 REGISTERED ARCHITECT

 ALAN E. GOZART
 STATE OF WASHINGTON

project number 19-12F
 date 9.04.23
 file name 1912F PSEFinal
 drawn by AEG
 checked by ACG
 owner approval _____

title
**Floor Plans,
 Int. Elevation,
 Wall Section
 & Notes**

A210



NO.	ROOM NAME	FLOORS		BASE	WALLS		CEILING		REMARKS
		MATERIAL	FINISH		MATERIAL	FINISH	MATERIAL	FINISH	
101	LOBBY	EXISTING CONCRETE							
102	CONFERENCE	EXISTING WOOD							
103	OFFICE		EXISTING LVT						
104	OFFICE		EXISTING CARPET TILE						
104.1	OFFICE		EXISTING SHEET VINYL						
105	DRIVER LOUNGE		EXISTING CERAMIC TILE						
105.1	DRIVER LOUNGE		EXISTING RUBBER						
106	DRIVER LOUNGE		LUXURY VINYL TILE						
107	I.T.		CARPET TILE						
108	MEN RESTROOM		EXISTING RUBBER						
109	HALL		EXISTING CERAMIC TILE						
110	WOMEN RESTROOM		RUBBER						
111	STAIR								
112	STAIR								
113	HALL								
114	DRIVER SUPPORT								
115	DISPATCH								
116	HALL								
117	TOILET COMPARTMENT								
118	TOILET COMPARTMENT								
119	TOILET COMPARTMENT								
120	RESTROOM								
121	HALL								
201	HALL								
202	HALL								
203	OFFICE								
204	OFFICE								
205	FILES								
206	TRAINING								
207	STORAGE								

REMARKS

1 NO WORK IN THIS ROOM.

2 PATCH CARPET TILE WHERE EXISTING WALL HAS BEEN REMOVED.

3 REMOVE EXISTING SHEET VINYL FLOORING & RUBBER BASE. PATCH WALLS AS REQUIRED WHERE BASE HAS BEEN REMOVED.

4 REMOVE EXISTING CARPET TILES AS REQUIRED FOR EXISTING SLAB CUTTING & PATCHING. REPLACE CARPET TILES AFTER PATCHING WORK IS COMPLETE. PROTECT EXISTING CARPET TILE FROM DAMAGE AS REQUIRED.

5 REMOVE EXISTING CARPET TILE & SALVAGE FOR POSSIBLE RE-USE.

6 REMOVE EXISTING CEILING TILE & DISPOSE OFF SITE FOR ACCESS OF NEW ELECTRICAL.

7 INSTALL ACOUSTICAL UNDERLAYMENT OVER NEW WOOD UNDERLAYMENT & UNDER NEW CARPET TILE.

8 EXISTING SHEET VINYL AT STAIR LANDING.

9 INSTALL NEW WOOD UNDERLAYMENT OVER EXISTING WOOD DECKING, TYPICAL.

ELEVATION NOTES

- 1 PLASTIC LAMINATE, TOP & BACKSLASH, TYPICAL.
- 2 PLASTIC LAMINATE TOP.
- 3 PVC EDGE BAND, TYPICAL.
- 4 PLASTIC LAMINATE FACE, TYPICAL.
- 5 FINISHED END, TYPICAL.
- 6 SCRIBE STRIP, TYPICAL.
- 7 SLIDING TEMPERED GLASS PANELS. SEE SPECIFICATIONS FOR ASSOCIATED HARDWARE.
- 8 PROVIDE WALL PROTECTION GUARDS ON EACH SIDE OF OPENING. EXTEND TO TOP OF BACKSLASH, TYPICAL.
- 9 COMPUTER MONITOR BY OWNER - NIC, TYPICAL.
- 10 COMPUTER CPU BY OWNER - NIC, TYPICAL.
- 11 METAL SUPPORT BRACKET - PAINT TO MATCH WALL COLOR, TYPICAL. PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 12 ADJUSTABLE SHELF, TYPICAL.
- 13 FRP WAINGCOT, TYPICAL - SEE ROOM FINISH SCHEDULE FOR LOCATIONS.
- 14 GRAB BAR - PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 15 SURFACE TOILET PAPER DISPENSER - PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 16 GRAB BAR - PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 17 SURFACE TOILET SEAT COVER DISPENSER - PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 18 LOCATE FLUSH VALVE LEVER ON WIDE SIDE OF COMPARTMENT.
- 19 RUBBER BASE, TYPICAL.
- 20 PLASTIC LAMINATE FINISH ON ALL EXPOSED SURFACES & BACKSLASH, TYPICAL.
- 21 PROVIDE INSULATED COVERS AT ALL EXPOSED PIPING, TYPICAL.
- 22 1/8" x 3" STEEL FLAT BAR WELDED 'T' SUPPORT BRACKET. SANDWICH IN WALL BETWEEN (2) WOOD STUDS & SECURE TO VANITY TOP, TYP.
- 23 5'-0" x 3'-0" MIRROR - PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 24 SURFACE PAPER TOWEL DISPENSER - PROVIDE REQUIRED WALL BACKING AS APPLICABLE, TYPICAL.
- 25 6'-0" x 3'-0" BULLETIN BOARD - PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 26 11'-0" x 3'-0" BULLETIN BOARD - PROVIDE REQUIRED WALL BACKING, TYPICAL.
- 27 MICROWAVE OVEN BY OWNER - NIC.
- 28 REFRIGERATOR/FREEZER, BY OWNER - NIC.
- 29 GYPSUM BOARD WRAP AT HEAD & JAMBS.

Maintenance Building Remodel
Grays Harbor Transit
 Hoquiam, Washington

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 harborarchitects.com
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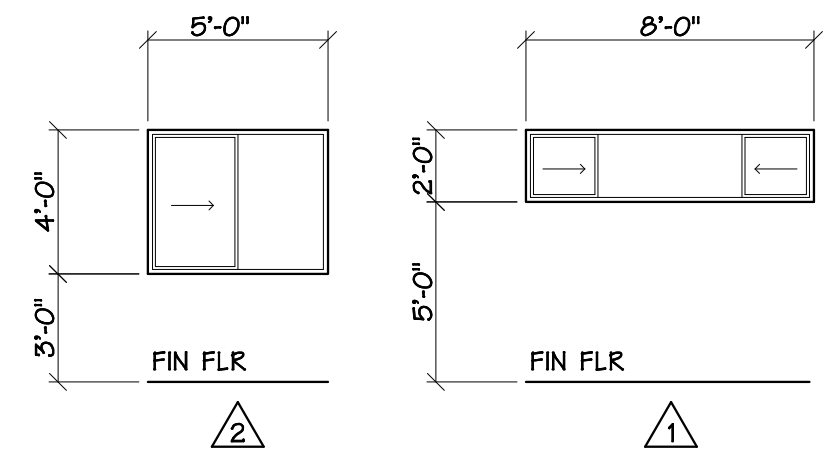
3399 REGISTERED ARCHITECT

 ALAN E. COZART
 STATE OF WASHINGTON

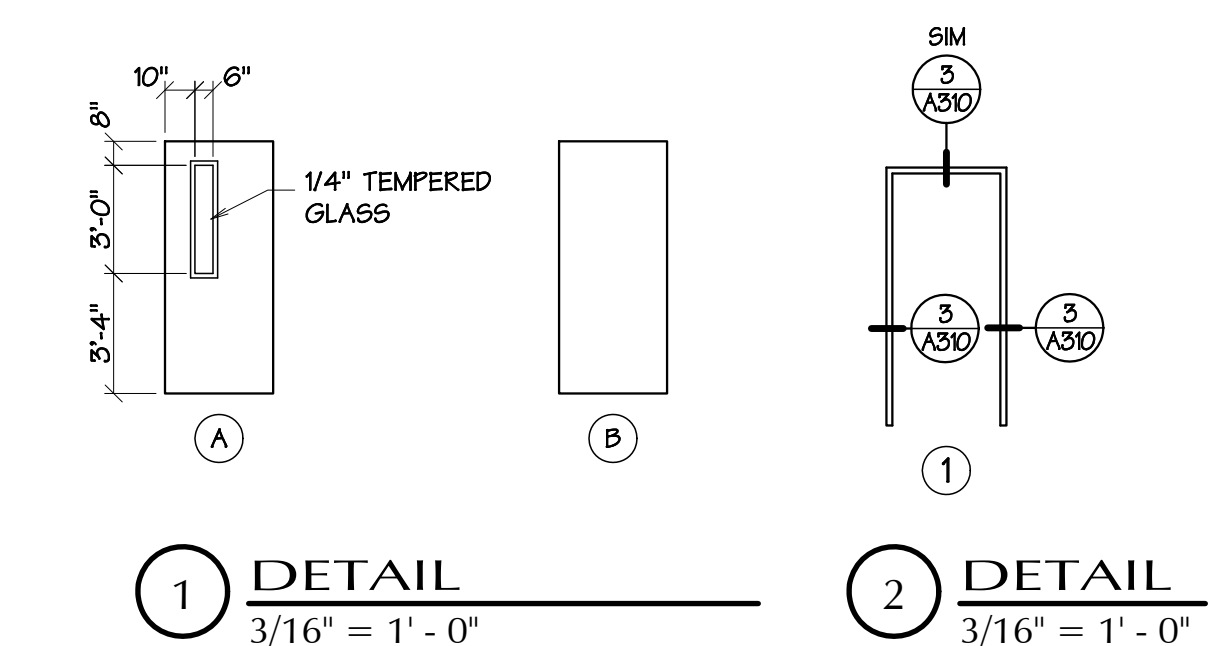
project number 19-12F
 date 9.04.23
 file name 1912F A300
 drawn by AEG
 checked by ACC
 owner approval

title
Room Finish Schedule, Interior Elev. & Notes
A300

△ WINDOW SCHEDULE							
FRAME				GLAZING		REMARKS	
TYPE	MATERIAL	FINISH	VENT. OP.	NOM. AREA	KIND		COLOR
1	VINYL	FACTORY	SLIDING	-	INSUL.	CLEAR	①
2	VINYL	FACTORY	SLIDING	-	INSUL.	CLEAR	①
REMARKS							
① MATCH EXISTING VINYL WINDOW PROFILE THAT EXISTS AT ROOM 206. MATCH EXISTING INSTALLATION DETAILS.							

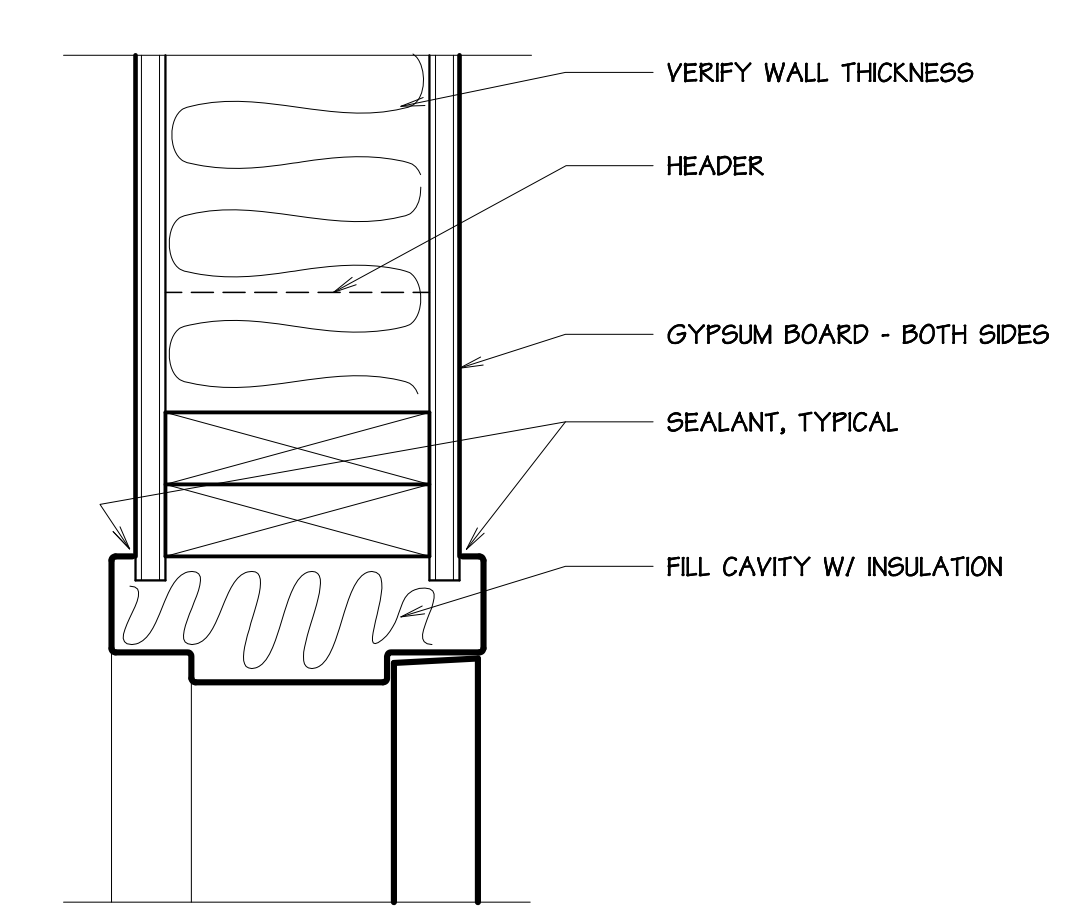


DOOR & FRAME SCHEDULE												
NO.	SIZE		THICK.	DOOR			FRAME			LABEL	HDW. GRP.	REMARKS
	WIDTH	HEIGHT		TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
101	3'-0"	7'-0"	1 3/4"	-	ALUMINUM	-	-	ALUMINUM	-	-	-	①
102	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	1	STEEL	PAINT	-	1	
103	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
104	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
105A	3'-0"	7'-0"	1 3/4"	-	ALUMINUM	-	-	ALUMINUM	-	-	-	①
105B	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
106A	3'-0"	7'-0"	1 3/4"	-	ALUMINUM	-	-	ALUMINUM	-	-	-	①
106B	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
107	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
108	2'-8"	7'-0"	1 3/4"	B	STEEL	PAINT	-	STEEL	-	-	2	②
110	2'-8"	7'-0"	1 3/4"	B	STEEL	PAINT	-	STEEL	-	-	2	②
112	2'-6"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
113	3'-0"	7'-0"	1 3/4"	-	STEEL	-	-	STEEL	-	-	-	①
115	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	1	STEEL	PAINT	-	3	
117	2'-0"	7'-0"	1 3/4"	B	STEEL	PAINT	1	STEEL	PAINT	-	4	
118	2'-0"	7'-0"	1 3/4"	B	STEEL	PAINT	1	STEEL	PAINT	-	4	
119	3'-0"	7'-0"	1 3/4"	B	STEEL	PAINT	1	STEEL	PAINT	-	4	
203	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
204	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	1	STEEL	PAINT	-	5	
205	3'-0"	7'-0"	1 3/4"	B	STEEL	PAINT	1	STEEL	PAINT	-	5	
206	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
207	3'-0"	7'-0"	1 3/4"	-	WOOD	P. LAM	-	STEEL	-	-	1	①
REMARKS												
① EXISTING DOOR, FRAME & HARDWARE. REPLACE EXISTING LOCKSET AS SCHEDULED.												
② EXISTING DOOR TO BE REPLACED. FIELD MEASURE EXISTING FRAME & HARDWARE PREPS FOR NEW DOOR INSTALLATION.												



① DETAIL
3/16" = 1' - 0"

② DETAIL
3/16" = 1' - 0"

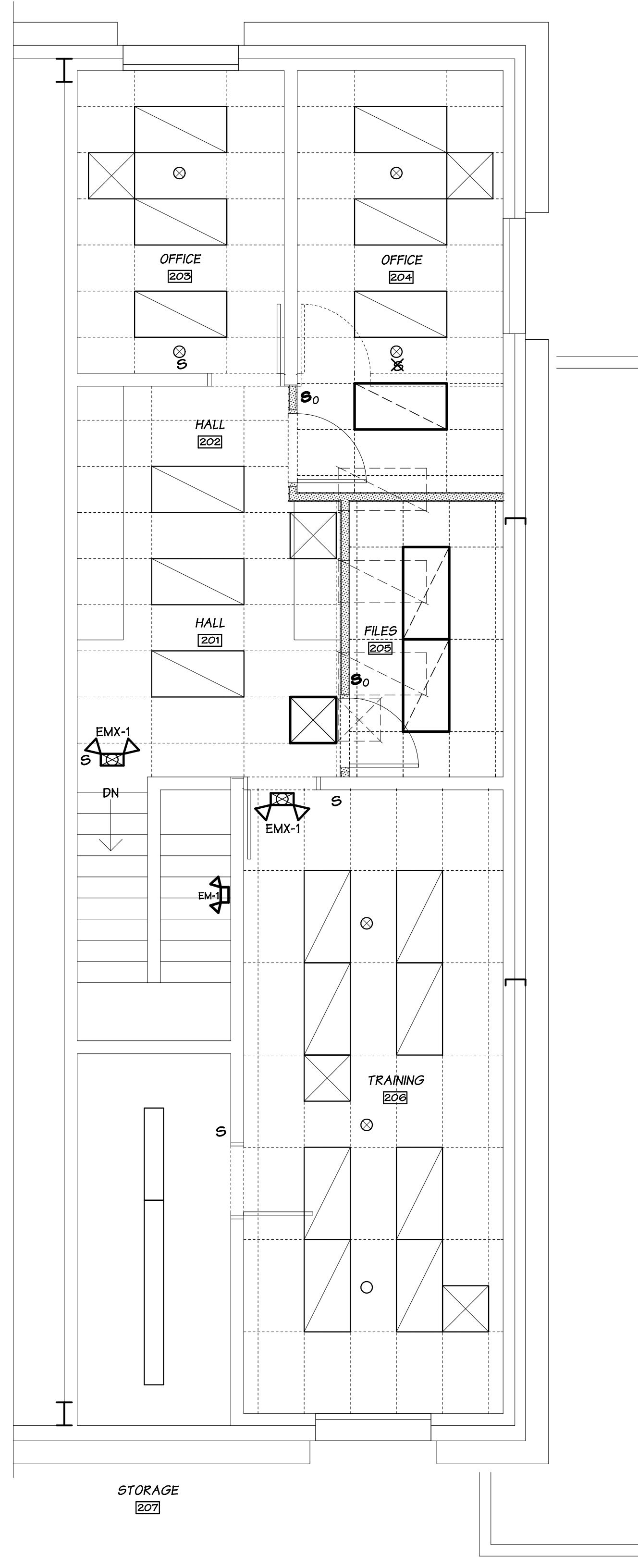


③ JAMB / HEAD (SIM) DETAIL
3" = 1' - 0"

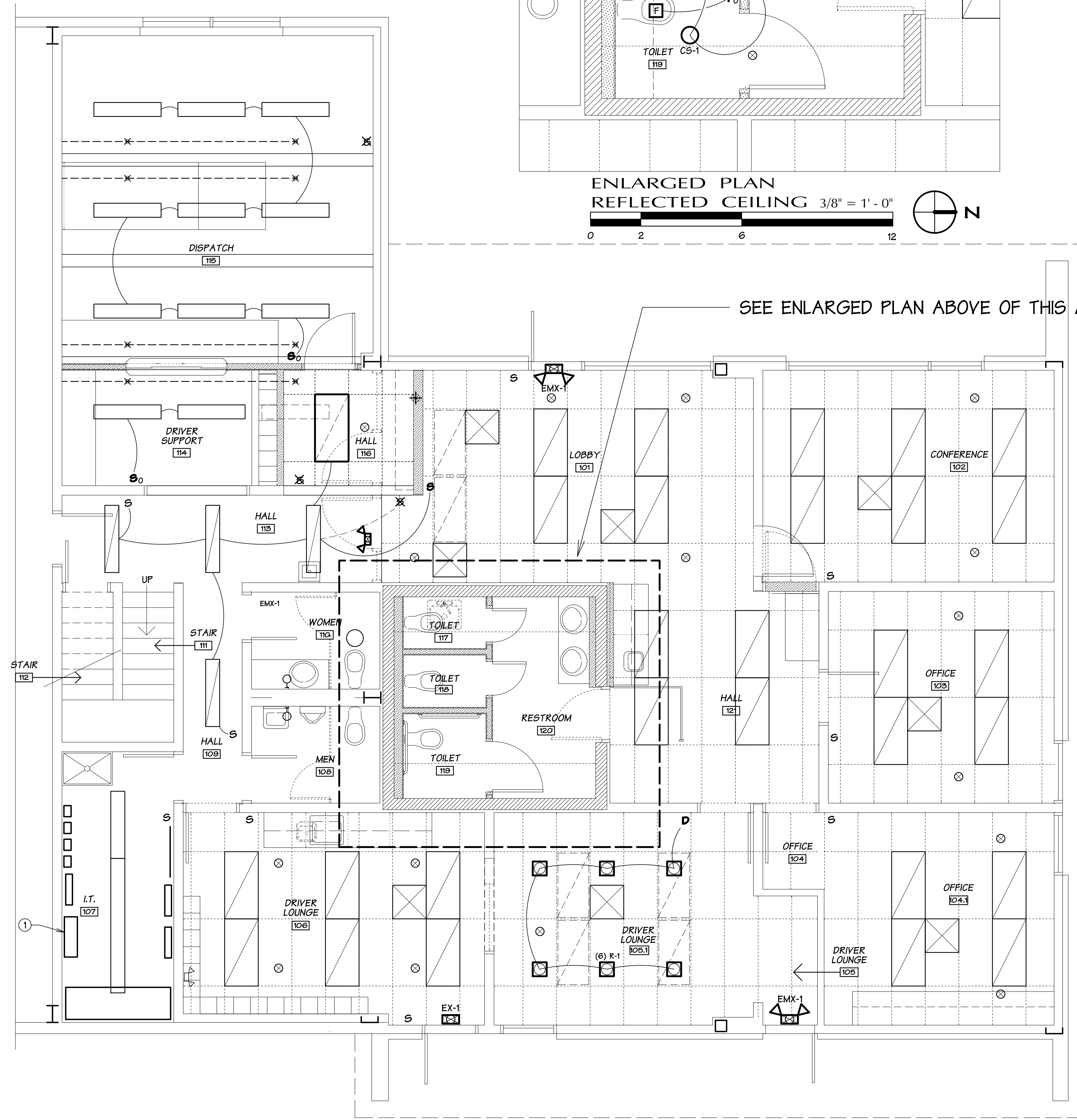
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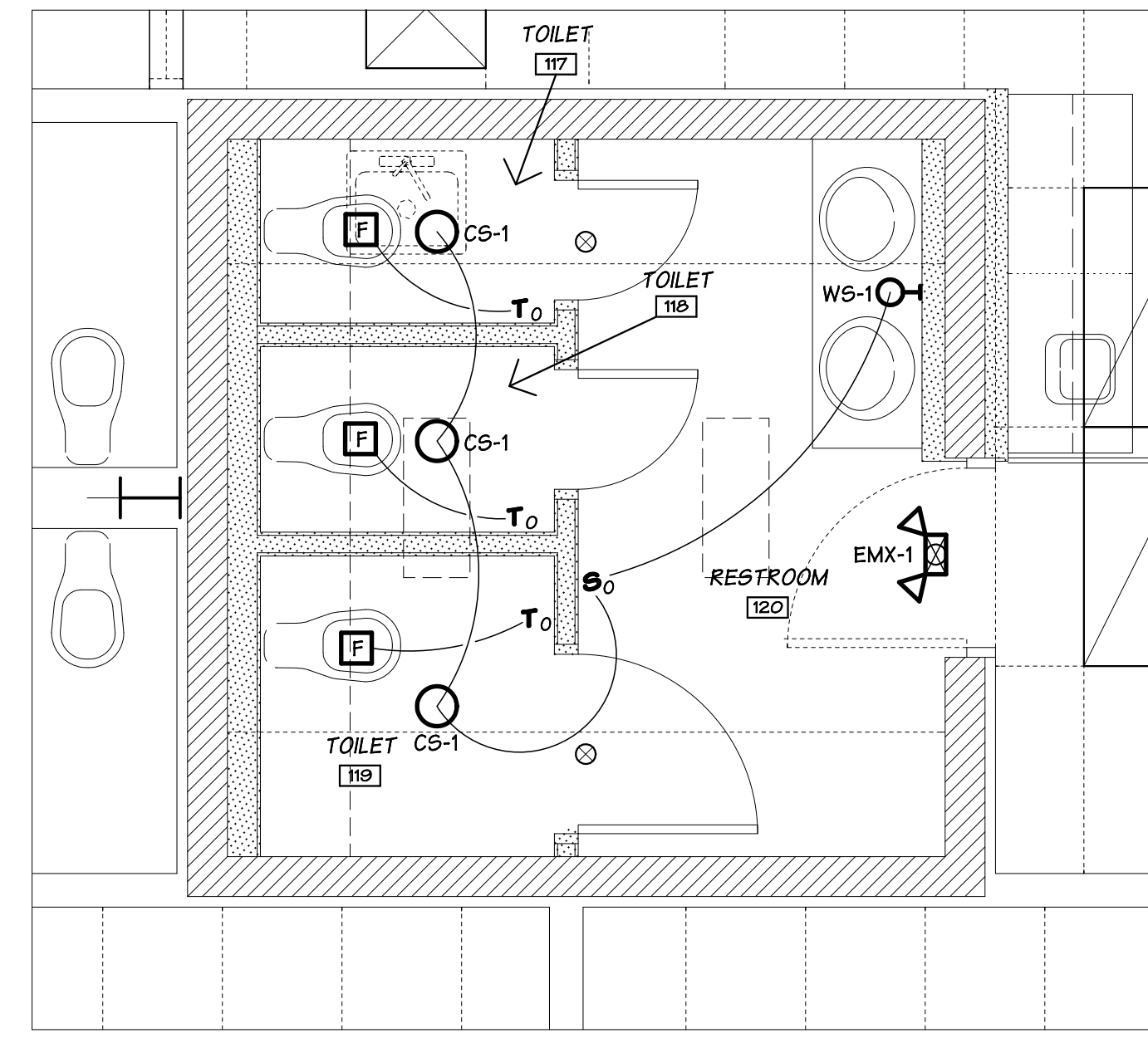
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date	9.04.23	
file name	1912F A310	
drawn by	AEG	
checked by	ACG	
owner approval	_____	
title	Door & Frame Schedule & Window Sched. & Details	
A310		



**UPPER PLAN
 REFLECTED CEILING** 1/4" = 1' - 0"
 0 3 9 15



**LOWER PLAN
 REFLECTED CEILING** 1/4" = 1' - 0"
 0 3 9 15



**ENLARGED PLAN
 REFLECTED CEILING** 3/8" = 1' - 0"
 0 2 6 12

PLAN NOTES

- 1 SEE SHEET E211 FOR EXISTING ELECTRICAL SWITCHGEAR & PANELS.
- 2 SEE SHEET A200 FOR DEMOLITION OF MISCELLANEOUS ELECTRICAL ITEMS.
- 3 DEMOLISH ALL ELECTRICAL ITEMS ASSOCIATED WITH DEMOLITION OF EXISTING WALLS, CEILINGS, ETC. DISPOSE ALL DEMOLITION DEBRIS OFF SITE, TYPICAL.

SYMBOL LEGEND

- ✕ ✕ EXISTING SWITCH TO BE REMOVED
- S EXISTING SWITCH TO REMAIN
- S₀ NEW SINGLE POLE SWITCH W/ OCCUPANCY SENSOR
- D₀ NEW DIMMER SWITCH W/ OCCUPANCY SENSOR
- T₀ NEW TIMER SWITCH W/ OCCUPANCY SENSOR
- NEW SURFACE FIXTURE
- ◻ NEW RECESSED FIXTURE
- ◻ EXISTING SURFACE FIXTURE TO BE REMOVED
- ◻ EXISTING SURFACE FIXTURE TO REMAIN
- ◻ EXISTING LAY-IN FIXTURE TO BE RELOCATED
- ◻ EXISTING LAY-IN OR RECESSED FIXTURE TO REMAIN
- ◻ EXISTING RELOCATED LAY-IN FIXTURE
- EXISTING SURFACE MTD WALL FIXTURE TO REMAIN
- NEW SURFACE MTD WALL FIXTURE
- ⚡ EXISTING EMERGENCY LIGHT
- ⚡ EM-1 NEW EMERGENCY LIGHT
- EXIT NEW ILLUMINATED EXIT SIGN
- EXIT EM-1 NEW ILLUMINATED EXIT SIGN W/ EMERGENCY LIGHT
- F NEW EXHAUST FAN - CUT OUT EXISTING CONC. AS REQUIRED
- ✕ EXISTING HVAC UNIT TO BE RELOCATED
- ✕ EXISTING HVAC UNIT TO REMAIN
- ✕ NEW LOCATION OF EXISTING HVAC UNIT
- EXISTING PENDENT SPRINKLER HEAD
- ✕ EXISTING UPRIGHT SPRINKLER HEAD & EXPOSED PIPING

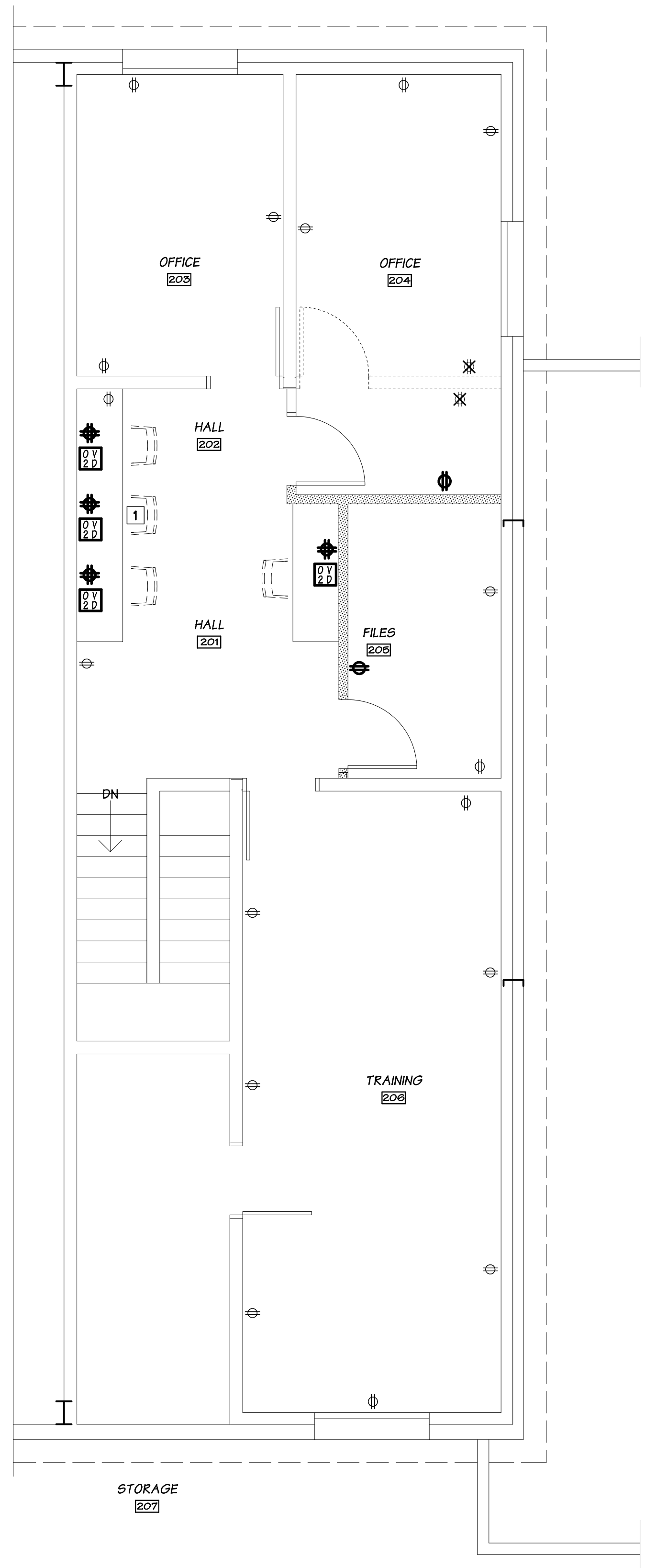
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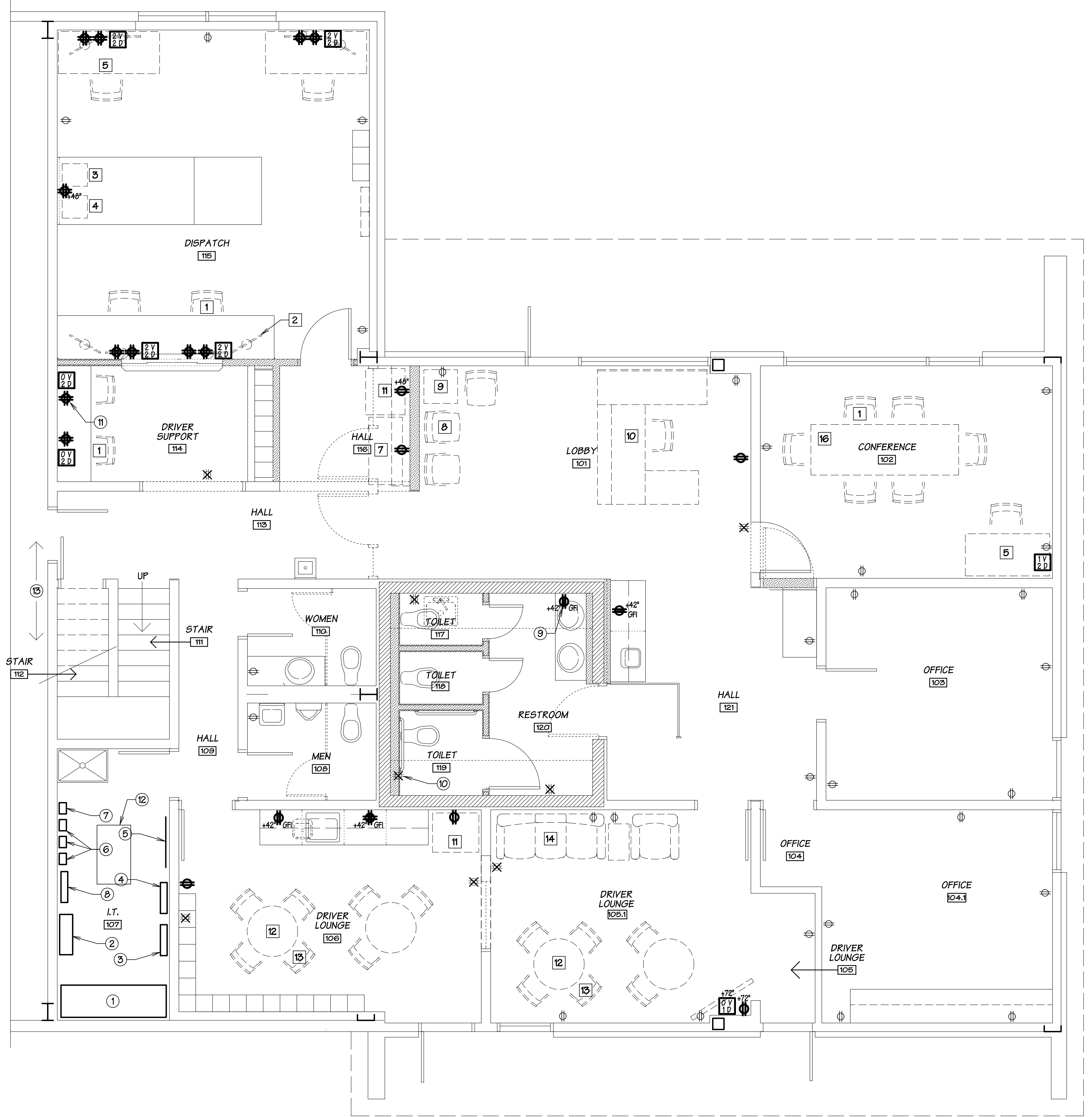
project number	19-12F
date	9.04.23
file name	1912FPSEFinal
drawn by	AEG
checked by	ACG
owner approval	_____

title
**Schematic
 Lighting Floor
 Plans & Notes**

E210



UPPER PLAN SCHEM. ELECTRICAL 1/4" = 1'-0"
 0 3 9 15 N



LOWER PLAN SCHEM. ELECTRICAL 1/4" = 1'-0"
 0 3 9 15 N

FIXT/FURN/EQUIP NOTES

- NOTE: THESE ITEMS TO BE PROVIDED BY OWNER, TYPICAL.
- 1 DESK CHAIR, TYPICAL.
 - 2 DISPATCH MONITOR, TYPICAL.
 - 3 FAX MACHINE.
 - 4 PRINTER.
 - 5 FREE-STANDING DESK, TYPICAL.
 - 6 UNDER-COUNTER REFRIGERATOR.
 - 7 COPY/SCAN/PRINT MACHINE.
 - 8 SIDE CHAIR, TYPICAL.
 - 9 END TABLE, TYPICAL.
 - 10 EXISTING WORKSTATION.
 - 11 FULL-SIZE REFRIGERATOR/FREEZER.
 - 12 3'-0" DIA. TABLE, TYPICAL.
 - 13 STACKABLE CHAIR, TYPICAL.
 - 14 SOFT LOUNGE SEATING, TYPICAL.
 - 15 FLAT PANEL TV - WALL MOUNTED.
 - 16 CONFERENCE TABLE.
 - 17 WALL MOUNTED VERTICAL FILES

PLAN NOTES

- 1 EXISTING SWITCHGEAR, PANEL MDP.
- 2 EXISTING DISTRIBUTION PANEL A.
- 3 EXISTING PANEL HH2.
- 4 EXISTING PANEL PP2.
- 5 EXISTING TELEPHONE EQUIPMENT PANEL.
- 6 EXISTING LIGHTING CONTACTORS.
- 7 EXISTING FIRE ALARM PANEL.
- 8 EXISTING PANEL L-1.
- 9 CHANGE EXISTING RECEPTACLE TO GFI.
- 10 IF REQUIRED TO MAINTAIN CONTINUITY, EXTEND EXISTING OUTLET BOX TO FACE OF NEW FURRED WALL & PROVIDE BLANK PLATE.
- 11 CONVERT EXISTING DUPLEX RECEPTACLE TO 4-FLEX.
- 12 EXISTING EQUIPMENT RACK.
- 13 ROUTE CONDUIT OR CABLE TRAY ON THIS WALL.

SYMBOL LEGEND

- ⊗ EXISTING DUPLEX RECEPTACLE OUTLET TO BE REMOVED
- ⊕ EXISTING DUPLEX RECEPTACLE OUTLET
- ⊕ NEW DUPLEX RECEPTACLE OUTLET
- ⊕ NEW FOUR-PLEX RECEPTACLE OUTLET
- ⊕ GFI NEW GFCI - DUPLEX RECEPTACLE OUTLET
- ⊕ NEW SPECIAL PURPOSE OUTLET (CONFIRM REQUIREMENTS)
- ⊗ EXISTING VOICE/DATA OUTLET TO BE REMOVED
- EXISTING VOICE/DATA OUTLET TO REMAIN
- ⊕ NEW VOICE/DATA OUTLET
- ⊕ EXISTING JUNCTION BOX (CEILING) TO REMAIN
- ⊕ NEW JUNCTION BOX W/ COVER
- ⊕ EXISTING WALL JUNCTION BOX TO REMAIN
- ⊕ NEW WALL JUNCTION BOX W/ COVER

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project number	19-12F
date	9.04.23
file name	1912FPSEFinal
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owner approval	_____

title
 Schematic
 Electrical Floor
 Plans & Notes

E211