

SYMBOL LEGEND

- ROOM NAME IDENTIFICATION
- DOOR IDENTIFICATION
- ELEVATION IDENTIFICATION
- DETAIL IDENTIFICATION
- SECTION IDENTIFICATION
- REVISION IDENTIFICATION

OTHER INFORMATION

EXISTING CONDITIONS
THE DRAWINGS CONTAIN REFERENCE TO EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.

SUBMITTING A BID SHALL INDICATE THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS & WILLINGNESS TO PROVIDE TO PROVIDE LABOR, MATERIALS & EQUIPMENT NECESSARY TO COMPLETE THE WORK INTENDED BY THE CONTRACT DRAWINGS.

GENERAL NOTES
THESE GENERAL NOTES ARE TO BE USED AS A SUPPLEMENT TO THE SPECIFICATIONS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, SPECIFICATIONS, THESE GENERAL NOTES & THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, IN WRITING, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK.

THE CONTRACTOR SHALL VERIFY & COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.

STABILITY OF THE STRUCTURE, PRIOR TO COMPLETION, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO: JOB SITE SAFETY, ERECTION MEANS, METHODS & SEQUENCES, TEMPORARY SHORING, FORM WORK & BRACING, USE OF EQUIPMENT & CONSTRUCTION PROCEDURES.

CONSTRUCTION OBSERVATION BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IS FOR CONFORMANCE WITH DESIGN ASPECTS ONLY & IS NOT INTENDED, IN ANY WAY, TO REVIEW THE CONTRACTOR'S CONSTRUCTION PROCEDURES.

- DEFERRED SUBMITTALS**
- PLUMBING PLANS
 - MECHANICAL PLANS
 - MECHANICAL ENERGY CODE COMPLIANCE FORMS
 - ELECTRICAL PLANS
 - EMERGENCY BACKUP POWER

PROJECT TEAM

OWNER
CITY OF ELMA
MAYOR: JOSH COLLETTE
P.O. BOX 3005
ELMA, WA 98541
(360) 482-2212

OWNERS REPRESENTATIVE

ROCK CONSTRUCTION MANAGEMENT SERVICES, L.L.C.
REPRESENTATIVE: BERNIE O'DONNELL
1601 E VALLEY RD, STE 110
RENTON, WA 98057
(425) 572-6878

ARCHITECT OF RECORD

HARBOR ARCHITECTS LLC
PROJECT ARCHITECT: MONIKA KUHNAL, AIA
PROJECT MANAGER: AARON GOZART
545 W WISHKAH STREET
ABERDEEN, WA 98520
(360) 532-0980

CODE INFORMATION

BUILDING CODE
INTERNATIONAL EXISTING BUILDING CODE: 2021 EDITION
ALTERATION LEVEL: LEVEL 3

FUNCTION OF SPACE	LOAD FACTOR	OCCUPANTS
BUSINESS: BUSINESS AREAS	150	12
ASSEMBLY: UNCONCENTRATED	15	90
ASSEMBLY: CONCENTRATED	7	41
STORAGE: ACCESSORY STORAGE	300	7
TOTAL OCCUPANTS:		150

OCCUPANCY SEPARATION: NON-SEPARATED, PER IBC 508.3.2

FIRE PROTECTION SYSTEMS: MOST RESTRICTIVE USE: A-3
AUTOMATIC SPRINKLER: NOT REQUIRED IBC 903.2.1.3
FIRE ALARM & DETECTION: NOT REQUIRED IBC 907.2.1

CONSTRUCTION TYPE: V-B STRUCTURAL ELEMENTS, EXT. WALLS & INT. WALLS ARE OF ANY MATERIALS PERMITTED BY THE IBC.

ALLOWABLE BUILDING AREA: TABLE 506.2 - A-3, NON-SPRINKLERED: 6,000 SF

AREA INCREASE CALCULATION: EQUATION 5-1, MIXED OCCUPANCY SINGLE STORY
 $A_a = A_t + (N_s \times I_f)$
 $A_t = 6000$ (TABLE 506.2)
 $N_s = 6000$ (TABLE 506.2)
 $I_f = 0.5$ (CALCULATED BELOW)
 $A_a = 6000 + (6000 \times 0.5)$

SIDE	LENGTH	DIST. OF CLEAR	QUAL.	TOTAL PERIMETER	QUALIFIES FOR FRONTAGE INCREASE
N	65'	31'	YES	327 FT	231 FT
E	96'	10'	NO	70.6%	
S	70'	62'	YES	AMOUNT OF OPEN SPACE OVER 30 FT	
W	96'	114'	YES	IF (TABLE 506.3.3)	0.50

ALLOWABLE BUILDING AREA INCLUDING FRONTAGE INCREASE: 9,000 SF

EXISTING BUILDING AREA: 6,012 SF

ALLOWABLE BUILDING STORIES: TABLE 504.4
A-3, NON-SPRINKLERED: 1 STORIES

EXISTING BUILDING STORIES: 1 STORY

ALLOWABLE BUILDING HEIGHT: TABLE 504.3
A, NON-SPRINKLERED: 40 FEET

EXISTING BUILDING HEIGHT: 28 FEET

Elma Public Service Building City of Elma, Washington

JOSH COLLETTE, MAYOR
PAT MILLER, COUNCIL POS. 1
BETHANY WHIPPLE-BOLING, COUNCIL POS. 2
JOHN HEATER, COUNCIL POS. 3
MIKE COOPER, COUNCIL POS. 4
JACOB BORDEN, COUNCIL POS. 5

DRAWING INDEX

A001 PROJECT INFORMATION, SITE PLAN, PROJECT TEAM, DRAWING INDEX, CODE INFORMATION & OTHER INFORMATION

ARCHITECTURAL

- A200 DEMO PLAN & NOTES
- A210 FLOOR PLAN & NOTES
- A211 DETAILS & NOTES
- A212 ENLARGED RESTROOM PLANS
- A300 INTERIOR ELEVATIONS & ROOM FINISH SCHEDULE
- A301 INTERIOR ELEVATIONS & SECTIONS
- A310 WINDOW & DOOR SCHED., WINDOW FLASHING, & WALL DETAILS
- A311 DETAILS
- A400 EXTERIOR ELEVATIONS

ELECTRICAL

- E210 SCHEMATIC LIGHTING PLAN
- E211 SCHEMATIC ELECTRICAL PLAN & NOTES

BUILDING ORIGINALS

- 1 NORTH & SOUTH ELEVATIONS & SITE PLAN
- 2 FLOOR PLAN
- 3 FOUNDATION PLAN
- 4 FOUNDATION DETAILS
- 5 ROOF FRAMING PLAN, DETAILS, RESTROOM ELEVATIONS, & NOTES
- 6 EXTERIOR ELEVATIONS
- 7 DOOR & WINDOW SCHED., WALL TYPES, & CONSTRUCTION NOTES

PROJECT INFORMATION

PROPERTY DESCRIPTION
LEGAL DESCRIPTION: ELMA LOTS 5 & 6, BLOCK 26

PARCEL NUMBERS: 043002600501, 043002600502

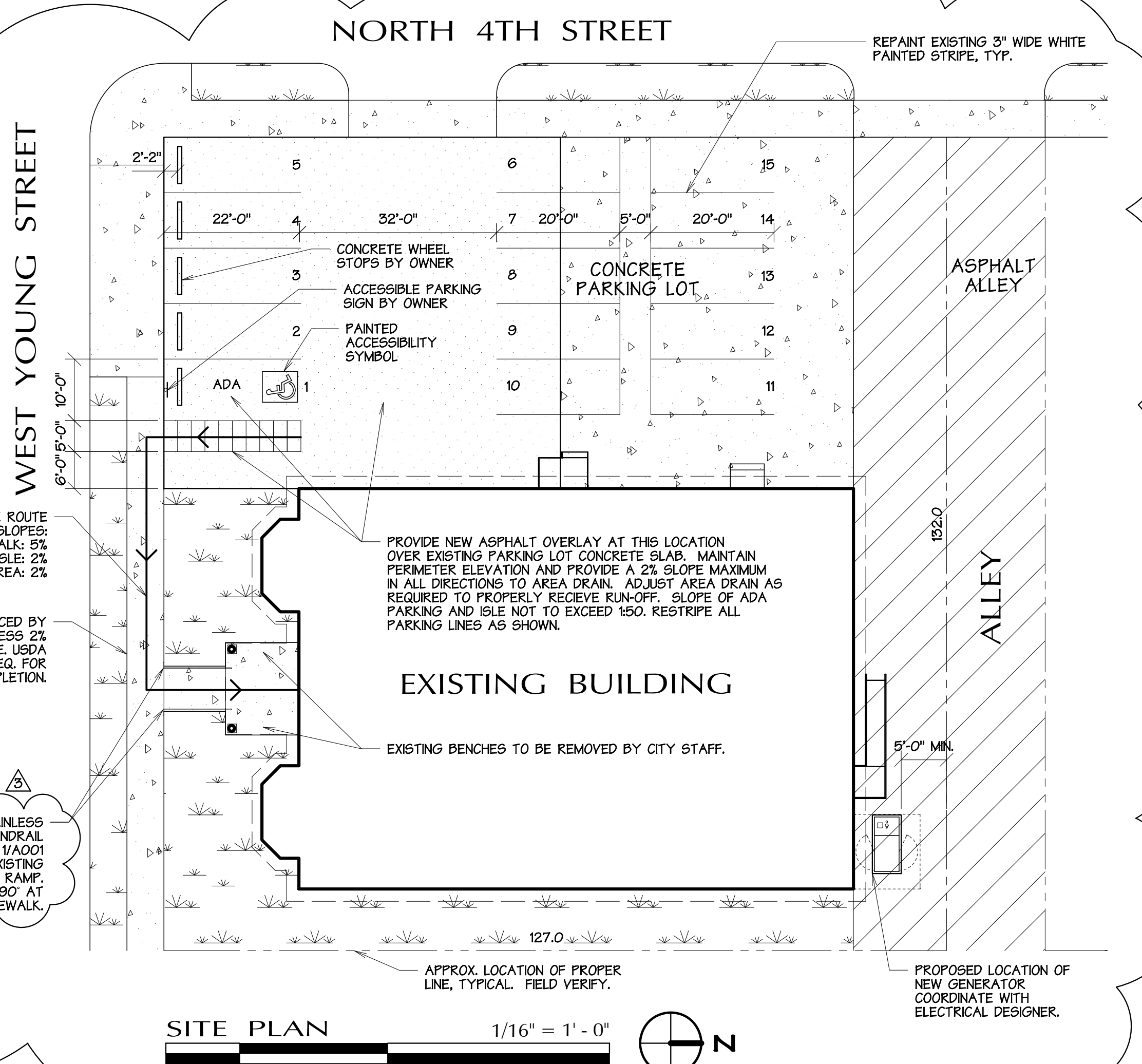
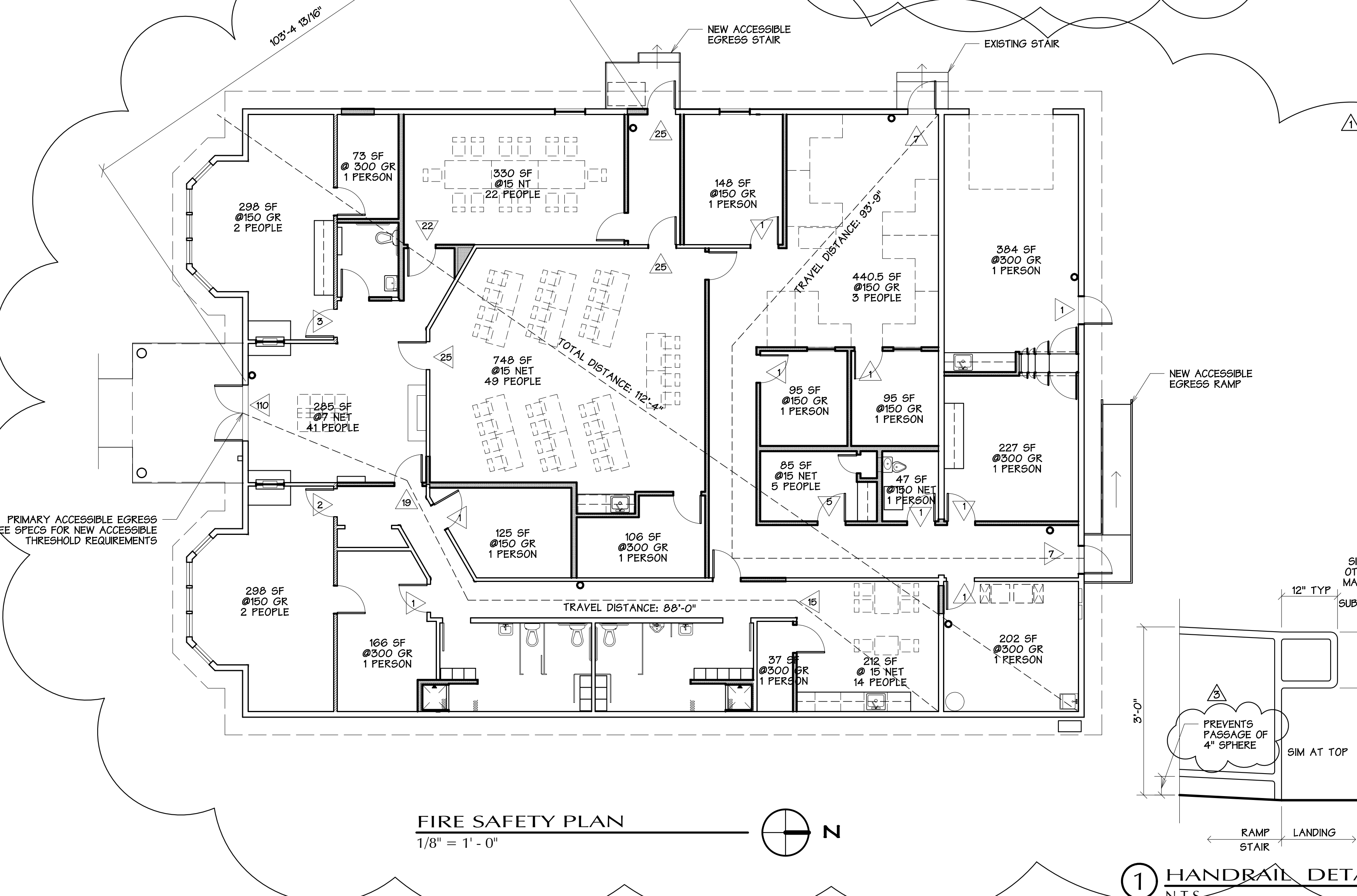
SITE ADDRESS: 316 W YOUNG STREET

ZONING ORDINANCE INFORMATION

ZONING DISTRICT: C-1, COMMUNITY BUSINESS
USE CLASS: MUNICIPAL BUILDINGS ARE A PERMITTED USE.
LOT SIZE: 15,600 SQUARE FEET.

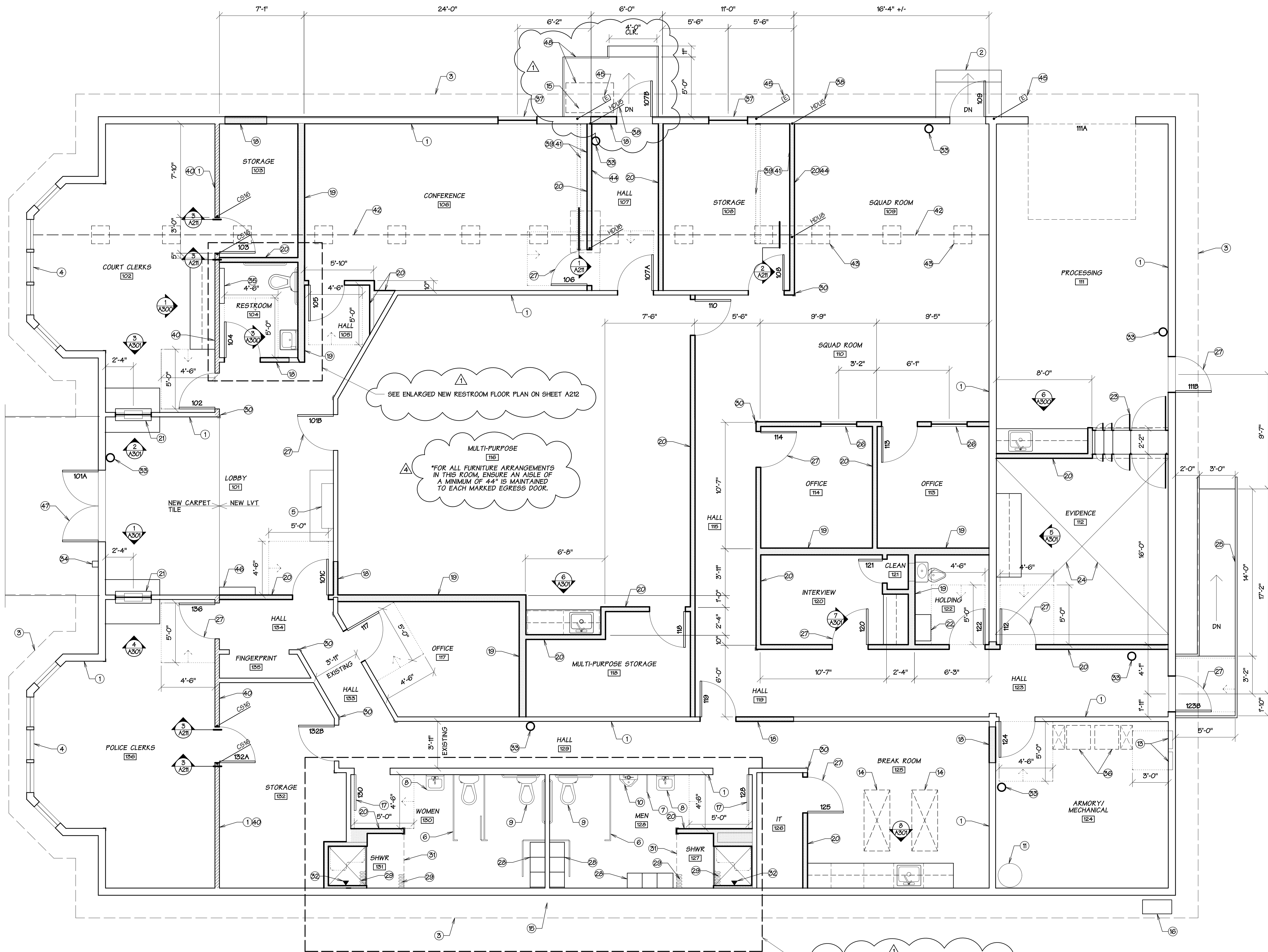
EXISTING PARKING: ACCESSIBLE: 1 SPACE
STANDARD: 14 SPACES
TOTAL: 15 SPACES

ALLOWABLE SETBACKS:
FRONT YARD: (0) FEET
REAR YARD: (5) FEET ABUTTING ALLEY
SIDE YARD: (0) FEET



Elma Public Service Building
City of Elma
Elma, Washington

Harbor Architects LLC
21030492 REGISTERED ARCHITECT
MONIKA KUHNAL
STATE OF WASHINGTON
project number 21-45
date 7.18.2024
file name 2145 A001RD
drawn by AEG
checked by ACC
owner approval
title
Proj. Info., Proj. Team, Drawing Index, Code & Other Info. & Site Plan
A001



PLAN NOTES

- 1 EXISTING WALL, TYP.
- 2 EXISTING CONCRETE LANDING & STEPS.
- 3 EXISTING ROOF OVERHANG, TYP.
- 4 EXISTING WINDOW TO REMAIN.
- 5 EXISTING FIREPLACE ASSEMBLY - NO WORK REQUIRED.
- 6 EXISTING TOILET PARTITION, TYP.
- 7 EXISTING URINAL SCREEN.
- 8 EXISTING LAVATORY.
- 9 EXISTING TOILET.
- 10 EXISTING URINAL.
- 11 EXISTING WATER HEATER.
- 12 NOT USED.
- 13 EXISTING ELECTRICAL PANEL - MAINTAIN 3' CLEAR IN FRONT.
- 14 EXISTING SKYLIGHT WELLS. FIELD VERIFY EXISTING LOCATIONS.
- 15 EXISTING WALL HYDRANT, TYPICAL. FIELD VERIFY EXISTING LOCATIONS.
- 16 EXISTING GAS METER. FIELD VERIFY EXACT LOCATION.
- 17 EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- 18 FRAME IN OPENING W/ 2 x STUDS @ 16" ON CENTER MATCHING EXISTING STUD DEPTH. PROVIDE FINISH ON BOTH SIDES TO MATCH EXISTING ADJACENT. PROVIDE FULL CAVITY DEPTH SOUND INSULATION.
- 19 NEW WALL: 2 x 6 WOOD STUDS @ 16" ON CENTER FULL HEIGHT TO EXISTING CEILING ABOVE. PROVIDE (1) LAYER 5/8" TYPE X GYP. BD EACH SIDE & FULL CAVITY DEPTH SOUND INSULATION.
- 20 NEW WALL: SAME AS NOTE 19 ABOVE EXCEPT 2 x 4 WOOD STUDS.
- 21 36" x 36" SERVICE WINDOW - SEE SPECIFICATIONS & ELEVATION DTL.
- 22 24" x 30" DETENTION BENCH - SEE SPECIFICATIONS.
- 23 EVIDENCE LOCKERS - SEE SPECIFICATIONS.
- 24 NEW WOOD FRAME FLOOR OVER EXISTING CONCRETE SLAB IN THIS AREA. PROVIDE 11 7/8" I-JOISTS @ 16" ON CENTER RUNNING IN NORTH/SOUTH ORIENTATION W/ 5/4" CDX, T & G SUBFLOOR & 1/2" PLYWOOD UNDERLAYMENT. PROVIDE CRIPPLE SUPPORT WALL AT MID-SPAN RUNNING IN EAST/WEST ORIENTATION USING 2 x 4 WOOD STUDS @ 16" ON CENTER. PROVIDE NEW CRIPPLE WALL (2 x 4 WOOD STUDS @ 16" ON CENTER. PROVIDE PRESSURE TREATED SILL PLATES, TYPICAL. PROVIDE 10 1/4" FIBER-GLASS INSULATION (R-38).
- 25 NEW PREFABRICATED METAL RAMP & LANDING W/ METAL PIPE HANDRAIL BOTH SIDES, 1/2 MAX SLOPE - SEE ELEVATION 2/A400.
- 26 36" x 36" METAL FRAME RELITE W/ 1/4" STANDARD GLAZING.
- 27 NEW FRAME & HARDWARE, TYP. SEE DOOR SCHED.
- 28 PROVIDE 15" x 15" SINGLE TIER LOCKERS - SEE SPECIFICATIONS.
- 29 SHOWER CURTAIN W/ CHROME ROD, TYP., PROVIDE BACKING.
- 30 PROVIDE CORNER GUARDS @ ALL OUTSIDE WALL CORNERS, TYPICAL.
- 31 PROVIDE CEILING OVER NEW SHOWER ENCLOSURE - 2 x 6 JOISTS @ 16" ON CENTER W/ 5/4" CDX PLYWOOD ABOVE. NEW WALLS OF ENCLOSURE SHALL EXTEND TO EXISTING CEILING ABOVE, TYP. INSULATE NEW WALLS W/ SOUND INSULATION, TYP., SEE 10/A301.
- 32 SHOWER HEAD LOCATION, TYP.
- 33 FIRE EXTINGUISHER & WALL BRACKET. PROVIDE WALL BACKING FOR BRACKET.
- 34 KNOX BOX. VERIFY EXACT LOCATION W/ FIRE DEPARTMENT.
- 35 WALL MOUNTED DIAPER CHANGING STATION.
- 36 APPROXIMATE LOCATION OF NEW AIR HANDLERS. CONTACT HVAC SUB-CONTRACTOR TO VERIFY SIZE, LOCATION, POWER REQ, ETC.
- 37 NEW WINDOW TO BE PROVIDED AS PART OF ADD. ALT. #1.
- 38 BACK-TO-BACK HDUS. PROVIDE 5/8" FULLY THREADED ROD DRILLED THRU CL SCL BM. ATTACH UPPER HDUS TO (2) 2x STUDS IN SHEAR WALL. ATTACH LOWER HDUS TO INSIDE FACE EXISTING CONC. WALL W/ SIMPSON TITEN SCREWS PER MFR RECOMMENDATIONS.
- 39 SHEAR WALL TO REPLACE EXISTING SHEAR WALL (EXISTING LOC. HIGHLIGHTED); 2 x 4 @ 16" O.C. W/ 7/16" SHITG BOTH SIDES W/ 8d @ 3" O.C. & 8d @ 12" O.C. IN THE FIELD.
- 40 HATCH INDICATES NEW 7/16" WOOD SHITG OVER (E) GYP. BLOCKED & NAILED @ ALL PANEL EDGES W/ 8d @ 4" O.C. & 8d @ 12" O.C. IN THE FIELD.
- 41 SHEAR TRANSFER CONN. @ TOP OF SHEAR WALL TO MATCH EXISTING.
- 42 EXISTING CRAWLS SPACE BM, TYP.
- 43 EXISTING CRAWL SPACE POST & FTG., TYP.
- 44 3 1/2" x 11 7/8" SCL BELOW SHEAR WALL.
- 45 CONFIRM EXISTING HOLDDOWNS, TYP.
- 46 GUN LOCK BOX, SEE SPECS.
- 47 CONFIRM DOOR HEIGHT ON-SITE.
- 48 NEW PREFABRICATED METAL STAIR & LANDING W/ METAL PIPE HANDRAIL BOTH SIDES, ACCOMMODATE MIN 30" X 48" WHEELCHAIR SPACE FOR ASSISTED RESCUE AS REQUIRED BY ADA CODE. 48" MIN. CLEAR BETWEEN HANDRAILS.

SEE ENLARGED NEW RESTROOM FLOOR PLAN ON SHEET A212

MULTI-PURPOSE [116]
 *FOR ALL FURNITURE ARRANGEMENTS IN THIS ROOM, ENSURE AN ANGLE OF A MINIMUM OF 44" IS MAINTAINED TO EACH MARKED EGRESS DOOR.

SEE ENLARGED EXISTING RESTROOM FLOOR PLAN ON SHEET A212



PERMIT SET		
REVISIONS		
no	date	by
1	8.16.24	MFK
2	11.14.24	MFK

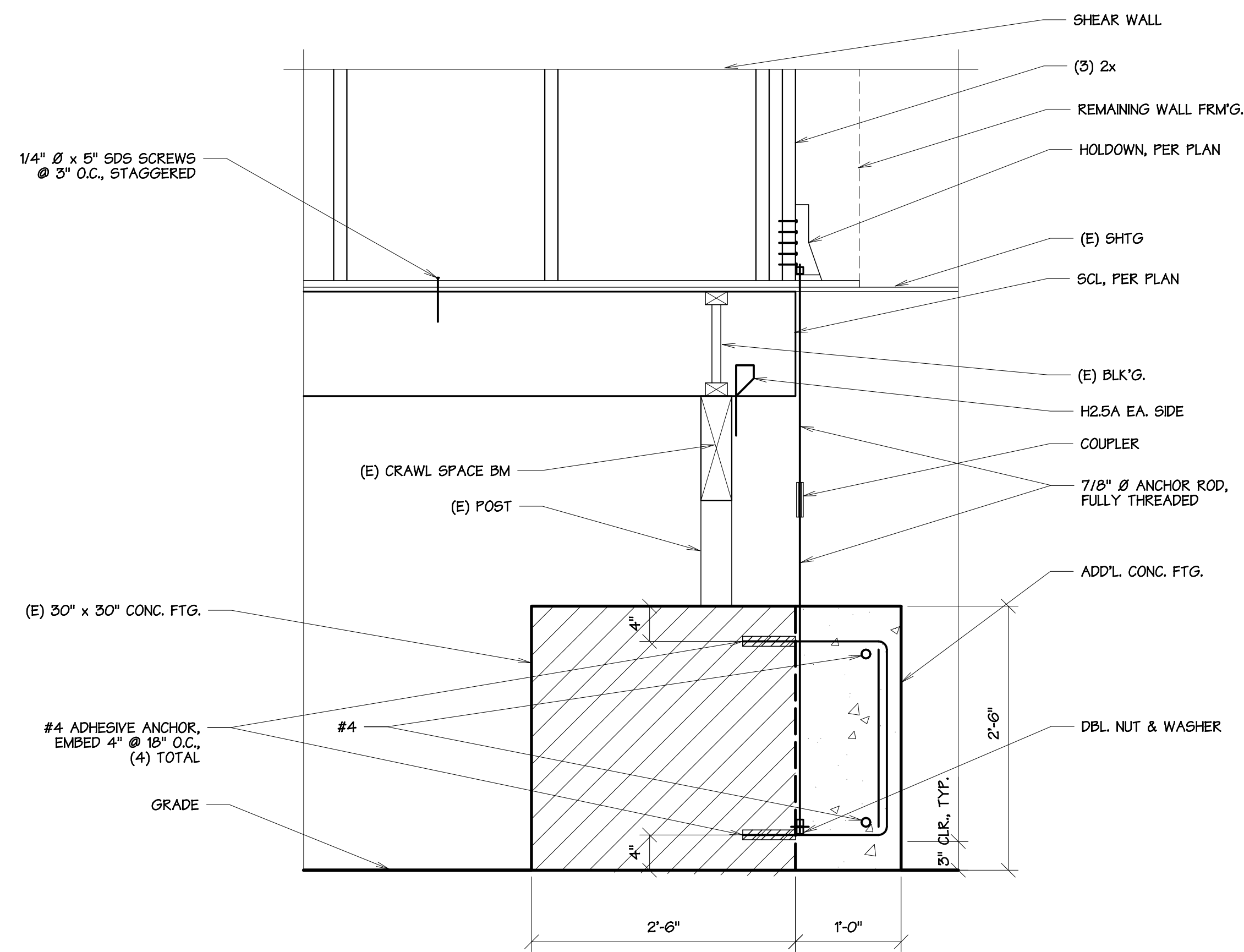
21030492 REGISTERED ARCHITECT

MONIKA KUHAU
STATE OF WASHINGTON

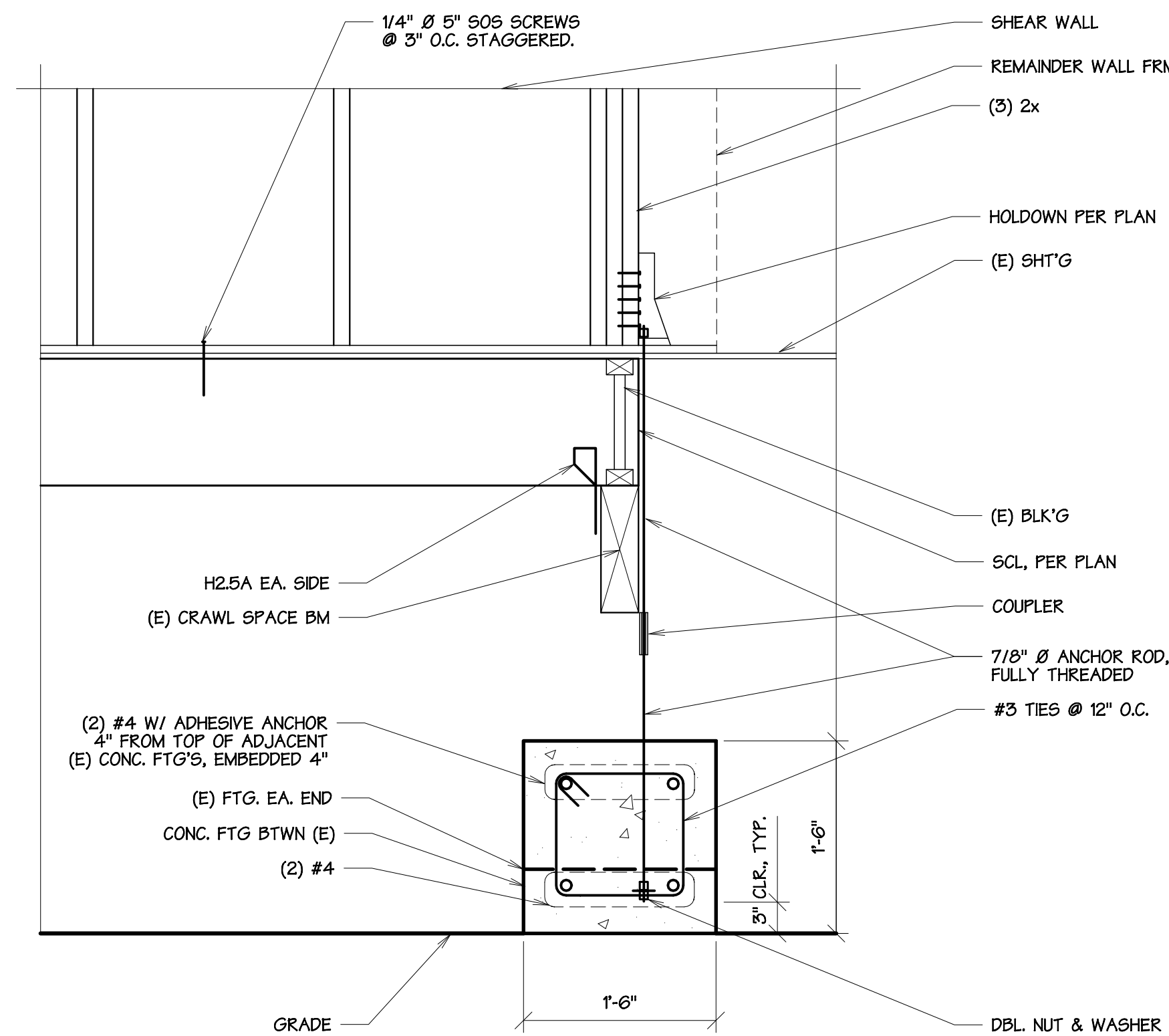
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date	7.31.24
file name	2145 A210RD
drawn by	MFK
checked by	ACG
owner approval	

title
Floor Plan & Notes

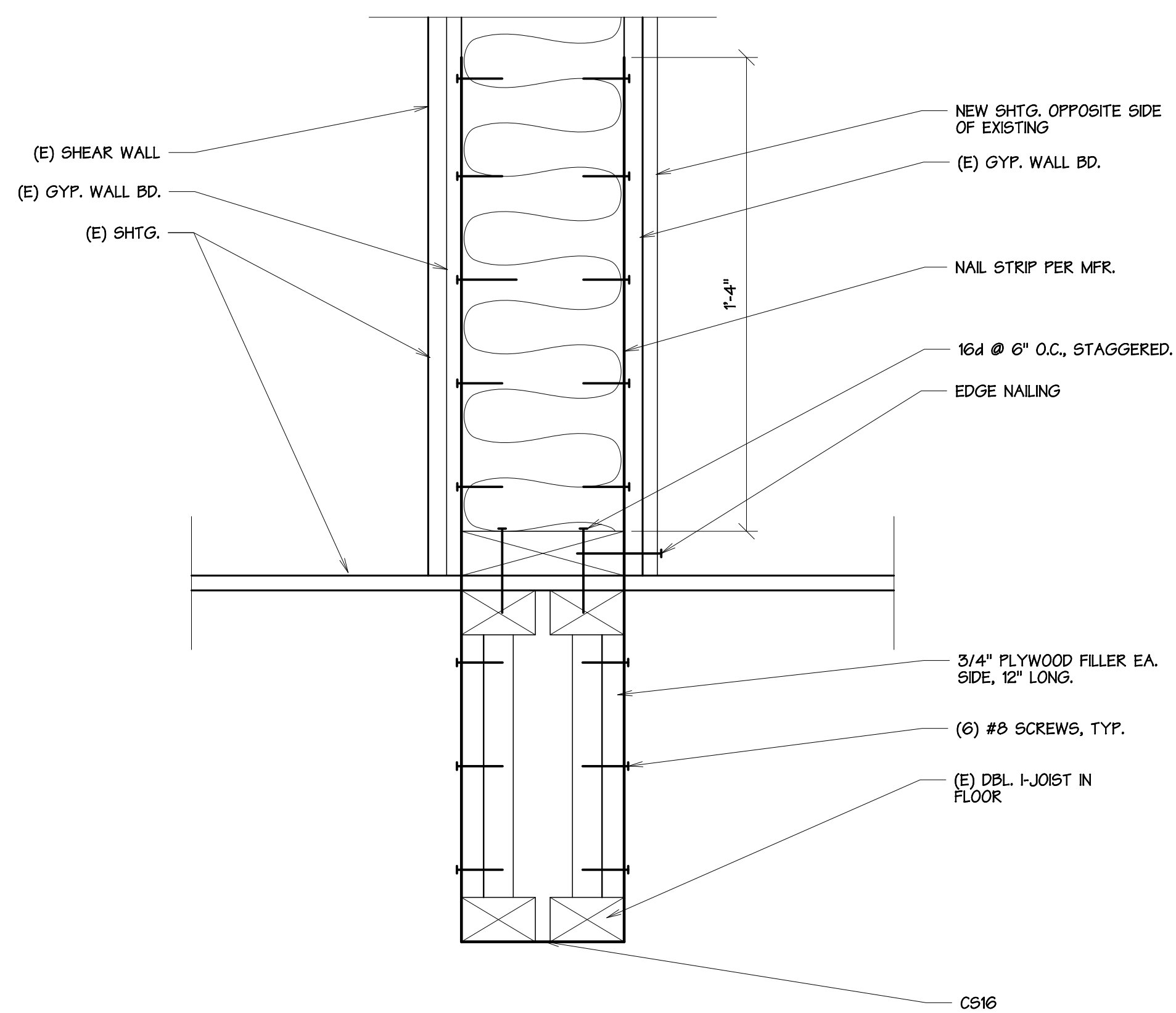
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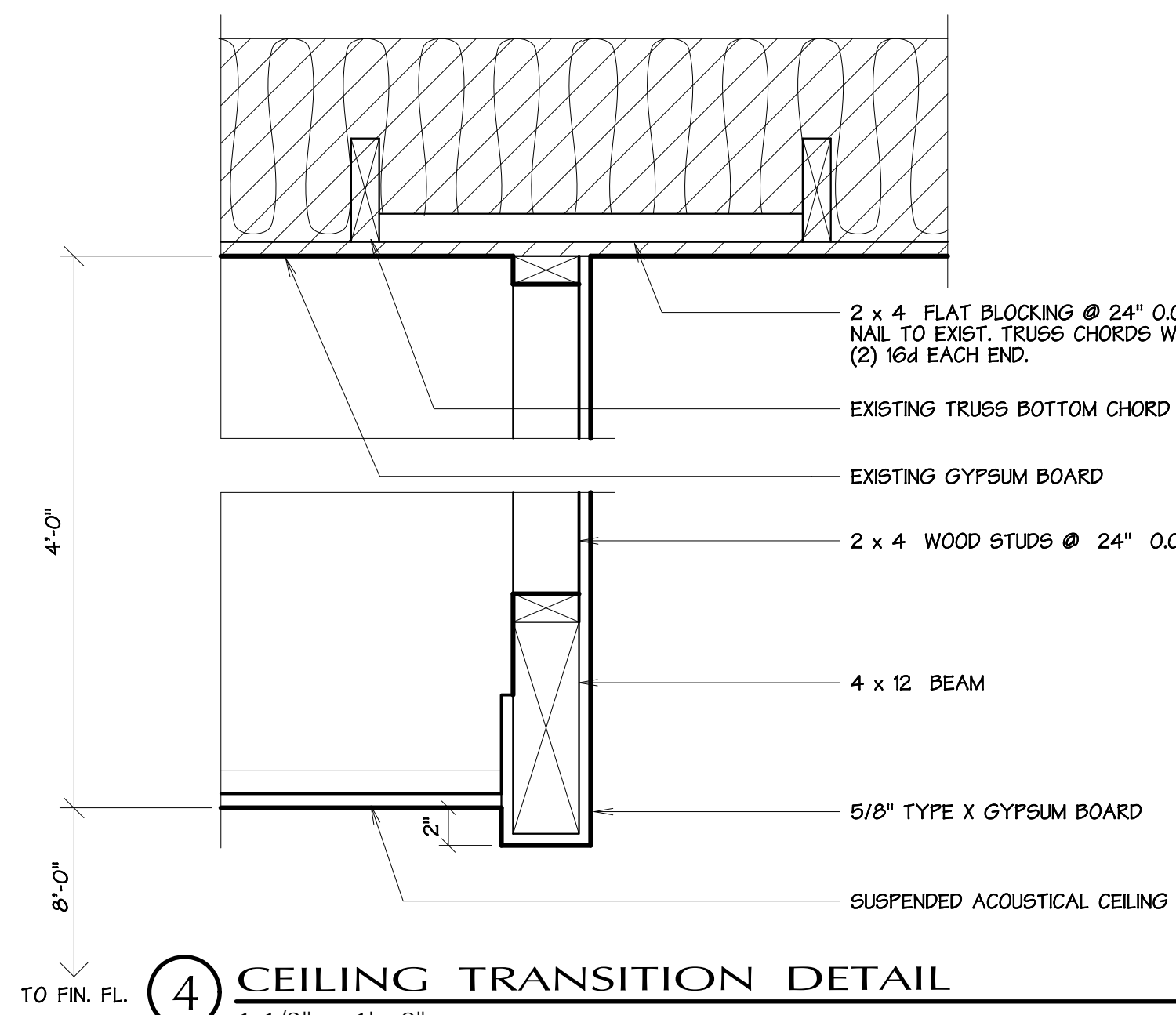
1 SHEAR WALL FDN DETAIL
1" = 1' - 0"



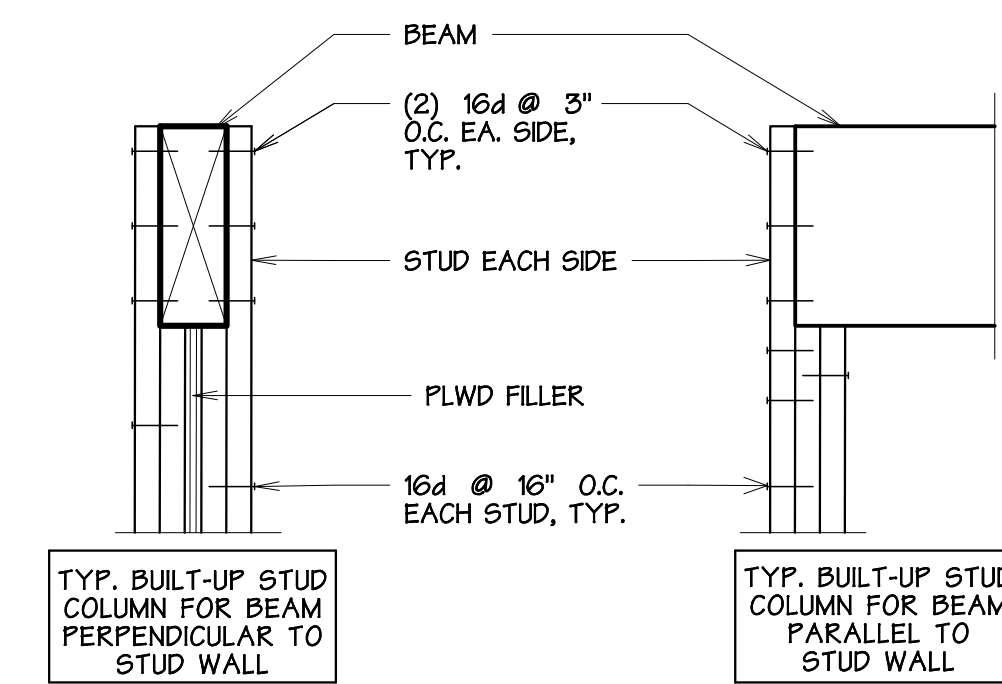
2 SHEAR WALL FDN DETAIL
1" = 1' - 0"



3 SHEAR WALL DETAIL
3" = 1' - 0"



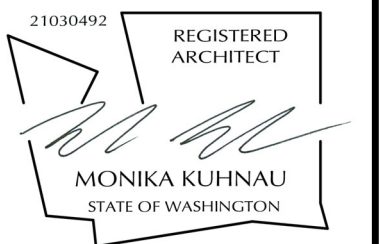
4 CEILING TRANSITION DETAIL
1 1/2" = 1' - 0"



5 BEAM SUPPORT DETAILS
NO SCALE

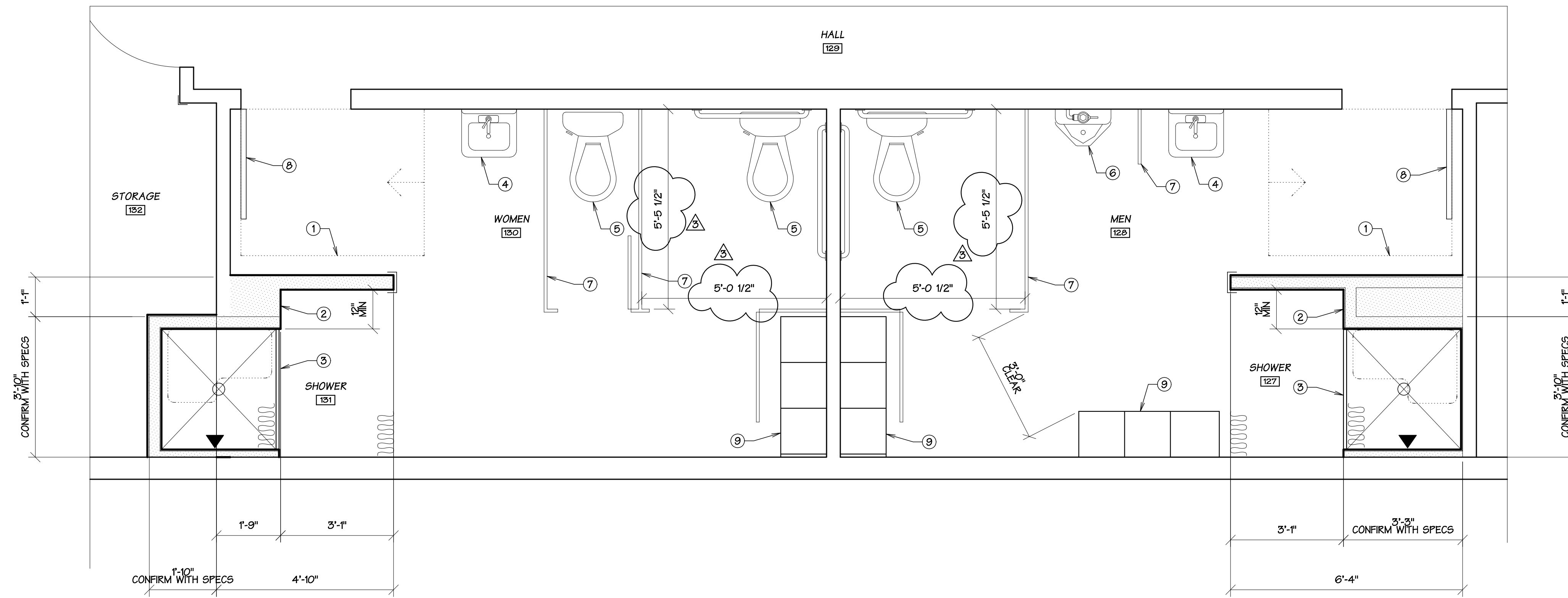
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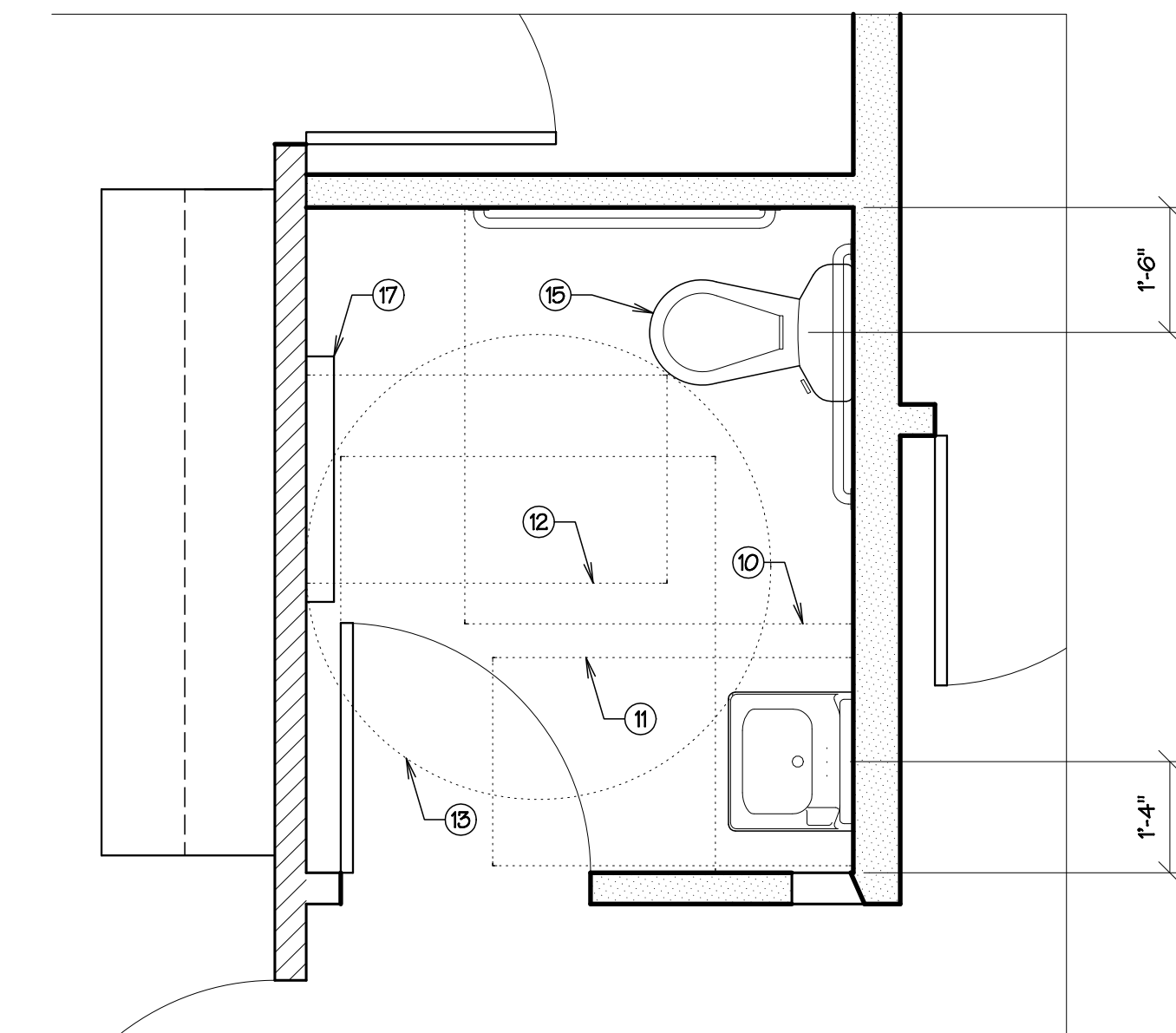


project number 21-45
date 7.18.2024
file name 2145 A300RD
drawn by TDV
checked by
owner approval

title
Details & Notes



ENLARGED EXISTING RESTROOM FLOOR PLAN
 1/2" = 1' - 0"
 0 2 6 12



ENLARGED NEW RESTROOM FLOOR PLAN
 1/2" = 1' - 0"
 0 2 6 12

PLAN NOTES

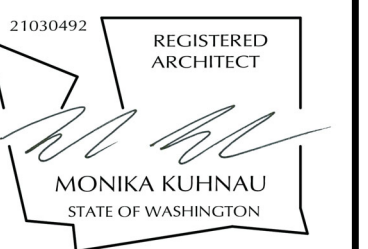
- ① LATCH APPROACH, PULL SIDE ADA CLEARANCE 48" x 60".
- ② 12" MINIMUM CLEARANCE FROM SEAT WALL REQUIRED FOR SEAT TRANSFER FROM WHEELCHAIRS.
- ③ NEW FLORSTONE MODEL 40-40H BARRIER-FREE SHOWER, SEE SPECS.
- ④ EXISTING LAVATORY TO REMAIN.
- ⑤ EXISTING TOILET TO REMAIN.
- ⑥ EXISTING URINAL TO REMAIN.
- ⑦ EXISTING TOILET PARTITION TO REMAIN.
- ⑧ EXISTING DOOR TO REMAIN.
- ⑨ NEW METAL LOCKERS, SEE SPECS.
- ⑩ CLEARANCE FOR WATER CLOSET 56" x 60".
- ⑪ CLEARANCE FOR LAVATORY 30" x 52".
- ⑫ CLEARANCE FOR CHANGING TABLE 30" x 52".
- ⑬ 67" TURNING RADIUS.
- ⑭ FRONT APPROACH, PULL SIDE CLEARANCE 60" x 54".
- ⑮ NEW TOILET, SEE SPECS.
- ⑯ NEW LAVATORY, SEE SPECS.
- ⑰ NEW WALL MOUNTED DIAPER CHANGING STATION, SEE SPECS.
- ⑱ NEW WALL MOUNTED GRAB BARS, SEE INTERIOR ELEVATIONS SHEET A300.

GENERAL NOTES

- 1 REFERTO INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS AND ADA CLEARANCE REQUIREMENTS.

PERMIT SET

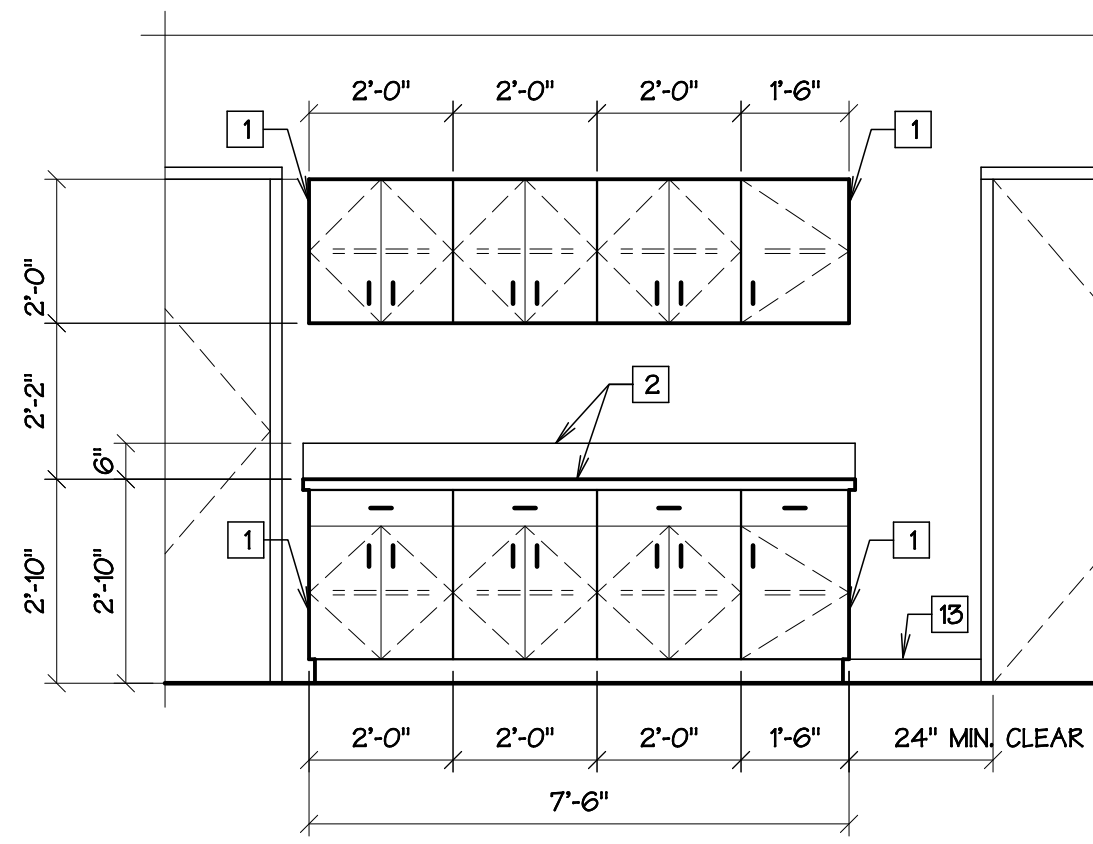
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▲	8.16.24	MFK
▲	10.24.24	MFK



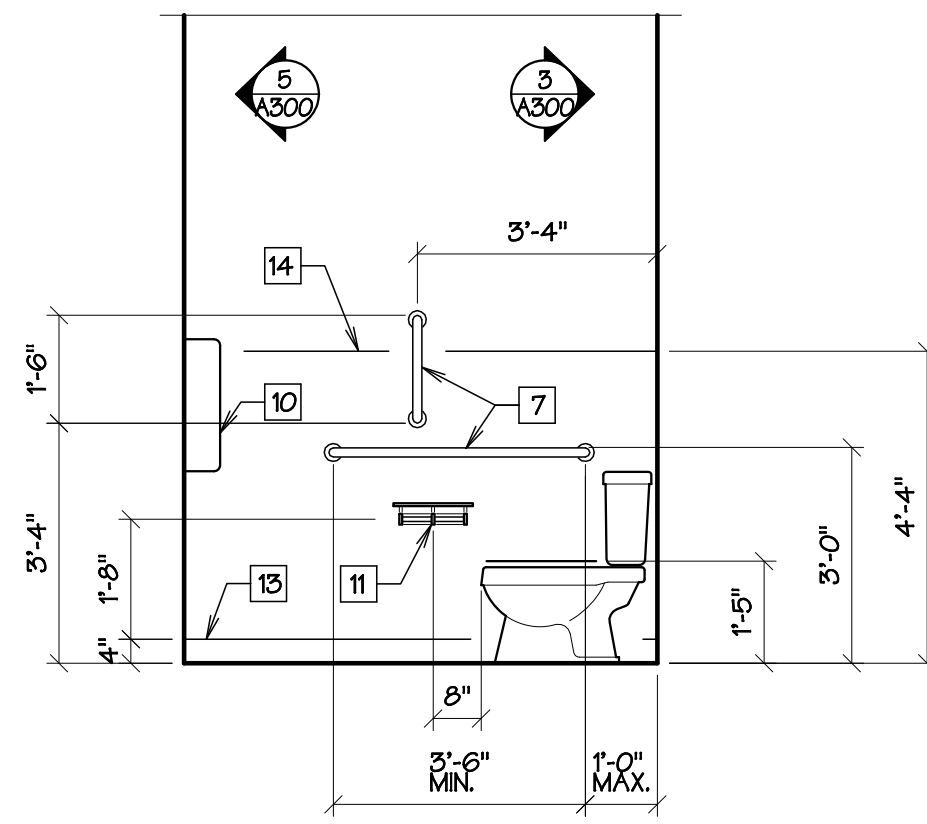
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date	8.16.24
file name	2145A210RD
drawn by	MFK
checked by	AEG
owner approval	_____

title
 Enlarged Restroom Plans

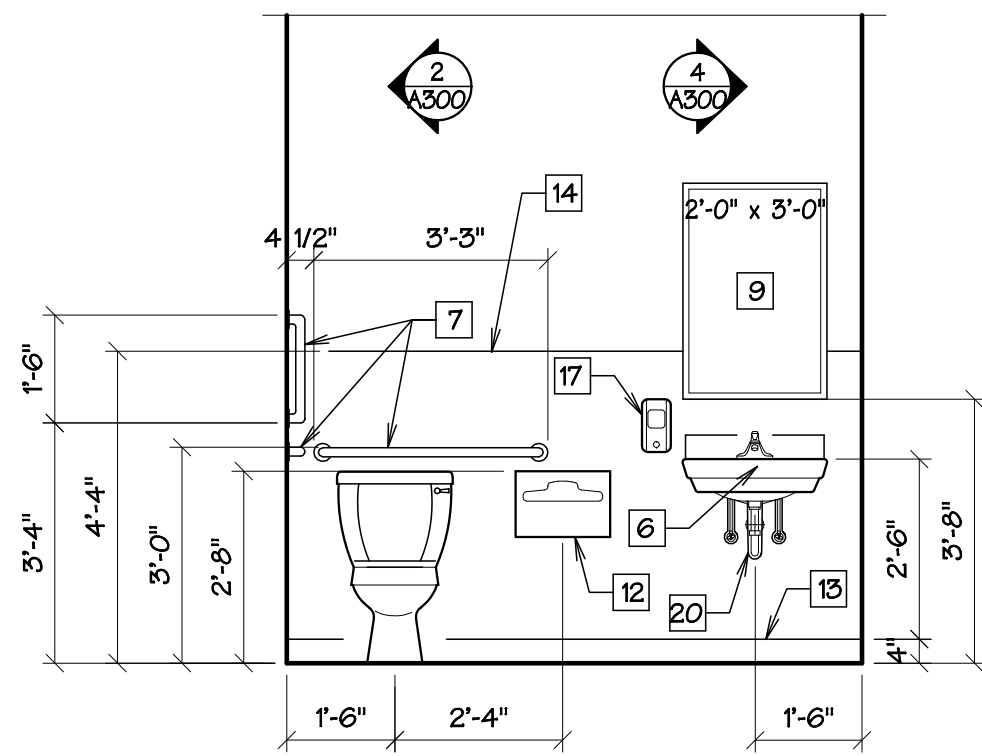
A212



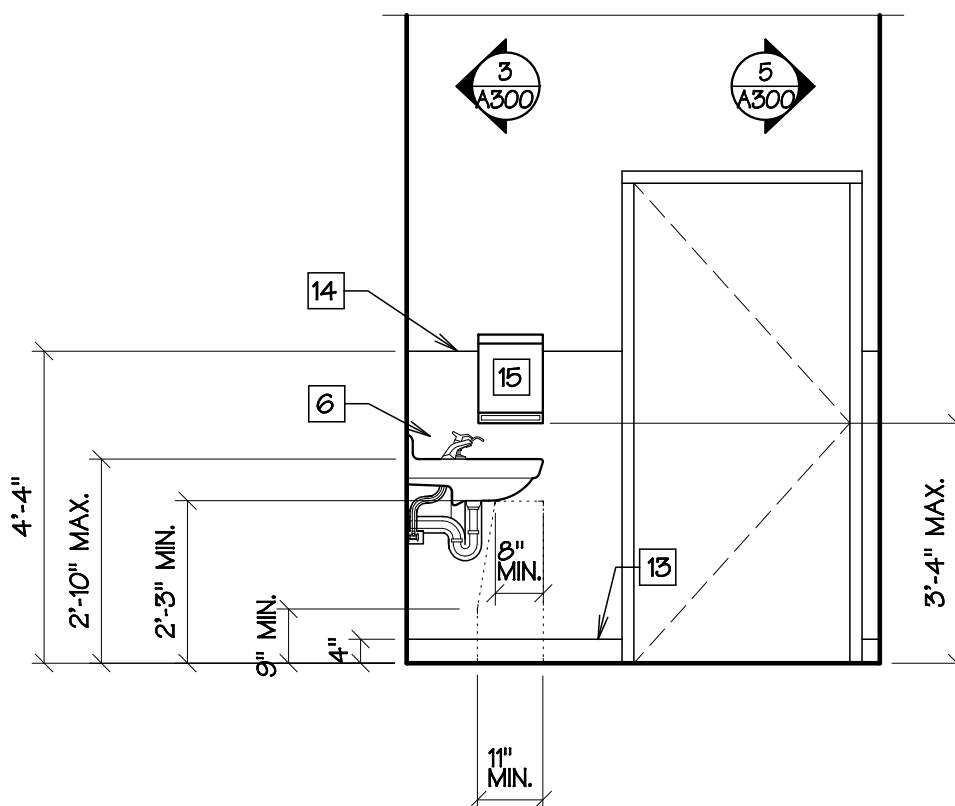
1 COURT CLERKS - 102
3/8" = 1' - 0"



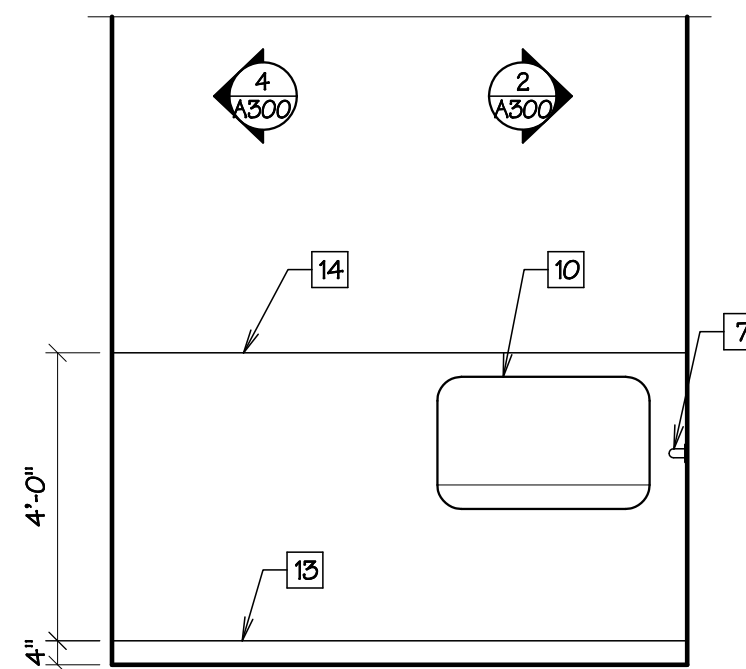
2 RESTROOM, WEST - 104
3/8" = 1' - 0"



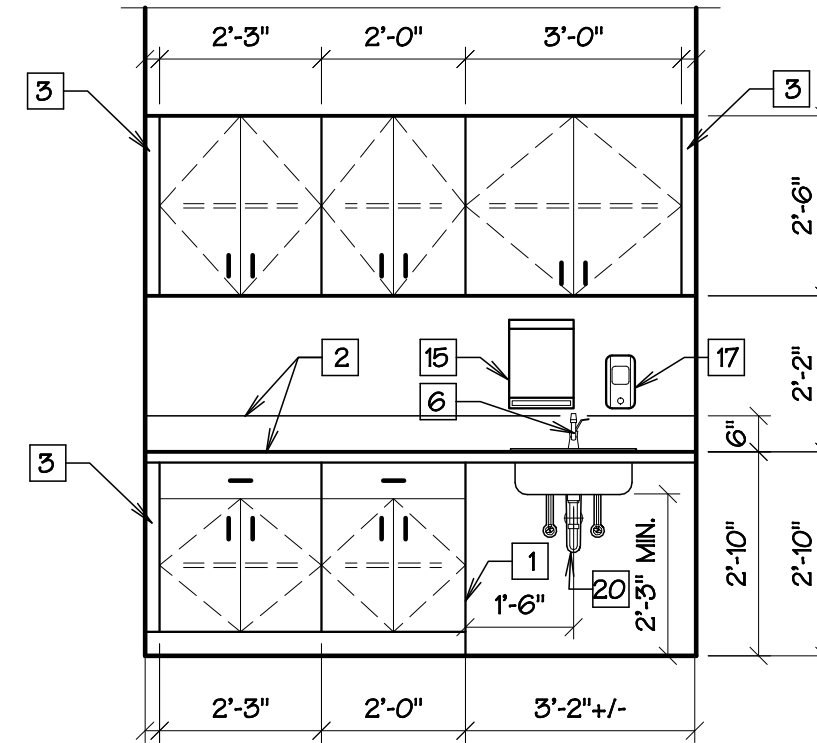
3 RESTROOM, NORTH - 104
3/8" = 1' - 0"



4 RESTROOM, EAST - 104
3/8" = 1' - 0"



5 RESTROOM, SOUTH - 104
3/8" = 1' - 0"



6 PROCESSING - 111
3/8" = 1' - 0"

ROOM FINISH SCHEDULE										
NO.	ROOM NAME	FLOORS		BASE ①	WALLS		WALLS/CEILING FIRE CLASS MIN.	CEILING		REMARKS
		MATERIAL	FINISH		MATERIAL	FINISH		MATERIAL	FINISH	
101	LOBBY	•	•	•	•	•	CLASS A	•	•	12'-0"
102	COURT CLERKS	•	•	•	•	•	CLASS C	•	•	
103	STORAGE	•	•	•	•	•	CLASS C	•	•	
104	RESTROOM	•	•	•	•	•	CLASS C	•	•	③
105	HALL	•	•	•	•	•	CLASS A	•	•	
106	CONFERENCE	•	•	•	•	•	CLASS C	•	•	8'-0"
107	HALL	•	•	•	•	•	CLASS A	•	•	
108	STORAGE	•	•	•	•	•	CLASS C	•	•	
109	SQUAD ROOM	•	•	•	•	•	CLASS C	•	•	12'-0"
110	SQUAD ROOM	•	•	•	•	•	CLASS C	•	•	
111	PROCESSING	•	•	•	•	•	CLASS C	•	•	③
112	EVIDENCE	•	•	•	•	•	CLASS C	•	•	
113	OFFICE	•	•	•	•	•	CLASS C	•	•	8'-0"
114	OFFICE	•	•	•	•	•	CLASS C	•	•	
115	HALL	•	•	•	•	•	CLASS A	•	•	
116	MULTI-PURPOSE	•	•	•	•	•	CLASS C	•	•	12'-0"
117	OFFICE	•	•	•	•	•	CLASS C	•	•	
118	MULTI-PURPOSE STORAGE	•	•	•	•	•	CLASS C	•	•	
119	HALL	•	•	•	•	•	CLASS A	•	•	8'-0"
120	INTERVIEW	•	•	•	•	•	CLASS C	•	•	12'-0"
121	CLEANING CLOSET	•	•	•	•	•	CLASS C	•	•	
122	HOLDING	•	•	•	•	•	CLASS C	•	•	
123	HALL	•	•	•	•	•	CLASS A	•	•	8'-0"
124	ARMORY / MECHANICAL	•	•	•	•	•	CLASS C	•	•	12'-0"
125	BREAK ROOM	•	•	•	•	•	CLASS C	•	•	
126	I.T.	•	•	•	•	•	CLASS C	•	•	
127	SHOWER	•	•	•	•	•	CLASS C	•	•	③
128	MENS RESTROOM	•	•	•	•	•	CLASS C	•	•	
129	HALL	•	•	•	•	•	CLASS A	•	•	8'-0"
130	WOMENS RESTROOM	•	•	•	•	•	CLASS C	•	•	12'-0"
131	SHOWER	•	•	•	•	•	CLASS C	•	•	③
132	STORAGE	•	•	•	•	•	CLASS C	•	•	
133	HALL	•	•	•	•	•	CLASS A	•	•	8'-0"
134	HALL	•	•	•	•	•	CLASS A	•	•	
135	FINGERPRINT	•	•	•	•	•	CLASS C	•	•	12'-0"
136	POLICE CLERKS	•	•	•	•	•	CLASS C	•	•	

REMARKS

- ① REMOVE EXISTING WOOD WALL BASE & DISPOSE ALL DEBRIS OFF SITE - PATCH & PRIME WALLS AS REQUIRED.
- ② PROVIDE 5/8" CDX PLYWOOD BACKING BEHIND GYPSUM BOARD - ALL WALLS.
- ③ PROVIDE MOISTURE RESISTANCE BEHIND NEW PLUMBING, TYP.
- ④ EXISTING INTERIOR FINISH MATERIALS THAT DO NOT COMPLY WITH THE INTERIOR FINISH REQUIREMENTS OF THE IBC SHALL BE PERMITTED TO BE TREATED WITH APPROVED FIRE-RETARDANT COATING IN ACCORDANCE WITH THE MFR'S INSTRUCTIONS TO ACHIEVE THE REQUIRED RAITING.

ELEVATION NOTES

- 1 FINISHED END PANEL, TYP.
- 2 PLASTIC LAMINATE TOP, FRONT, END, & BACKSPLASH, TYP.
- 3 1-1/2" MIN. WALL SCRIBE, PAINTED OR PLASTIC LAMINATE, MATCH ADJACENT MATERIAL, TYP.
- 4 SHOWER ROD, TYP.
- 5 SHOWER ASSEMBLY - SEE SPECIFICATIONS.
- 6 SINK ASSEMBLY - SEE SPECIFICATIONS.
- 7 GRAB BAR, TYP.
- 8 LOCATE FLUSH HANDLE ON RIGHT SIDE OF TANK.
- 9 SURFACE MIRROR, PROVIDE SECURE BACKING.
- 10 WALL MOUNTED DIAPER CHANGING STATION, PROVIDE SECURE BACKING, & CONFIRM HEIGHT PER MFR. RECOMMENDATION.
- 11 SURFACE TOILET TISSUE DISPENSER W/ SHELF.
- 12 SURFACE TOILET SEAT COVER DISPENSER.
- 13 4" RUBBER BASE, TYP. PROVIDE RUBBER BASE AROUND BASE CABINETS, TYP.
- 14 FRP WAINGCOT, TYP. - SEE ROOM FINISH SCHEDULE.
- 15 SURFACE PAPER TOWEL DISPENSER. PROVIDE REQUIRED WALL BACKING.
- 16 SPACE FOR KNEE ROOM BENEATH COUNTERTOP.
- 17 SURFACE SOAP DISPENSER, PROVIDE SECURE BACKING.
- 18 SURFACE TOWEL HOOKS, PROVIDE SECURE BACKING.
- 19 WALL MOUNTED SHELF, PROVIDE SECURE BACKING.
- 20 PROVIDE INSULATED, PROTECTIVE COVER AT HOT WATER SUPPLY & WASTE PIPING, TYPICAL.

NOTE: ALL BASE CABINETS SHALL BE 24" DEEP & WALL CABINETS SHALL BE 12" DEEP UNLESS SHOWN OTHERWISE.

PERMIT SET

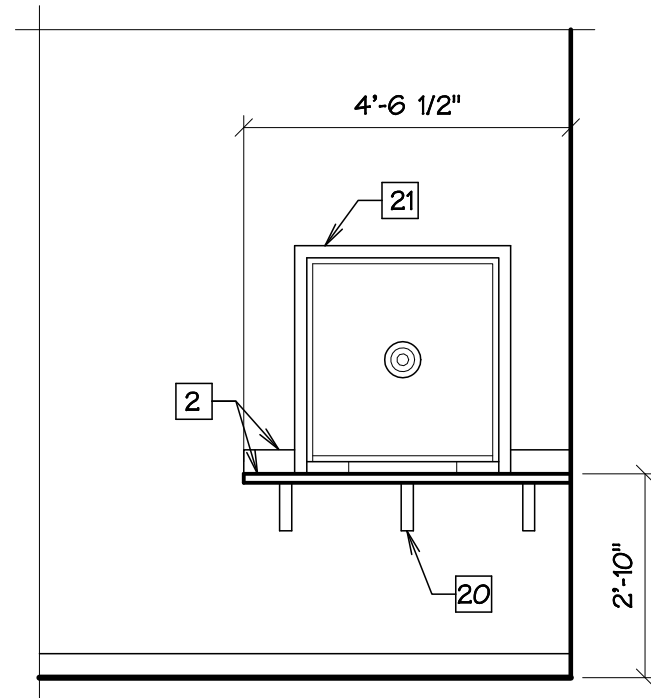
REVISIONS		
no	date	by
△	12.3.24	MFK

21030492 REGISTERED ARCHITECT
MONIKA KUHNAU
STATE OF WASHINGTON

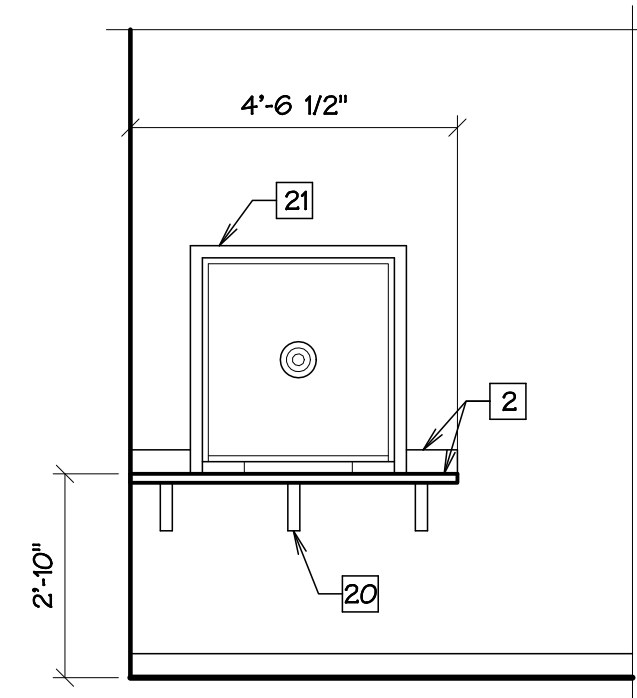
project number 21-45
date 7.18.2024
file name 2145 A300RD
drawn by TDV
checked by
owner approval

title
Interior Elevations & Room Finish Sched.

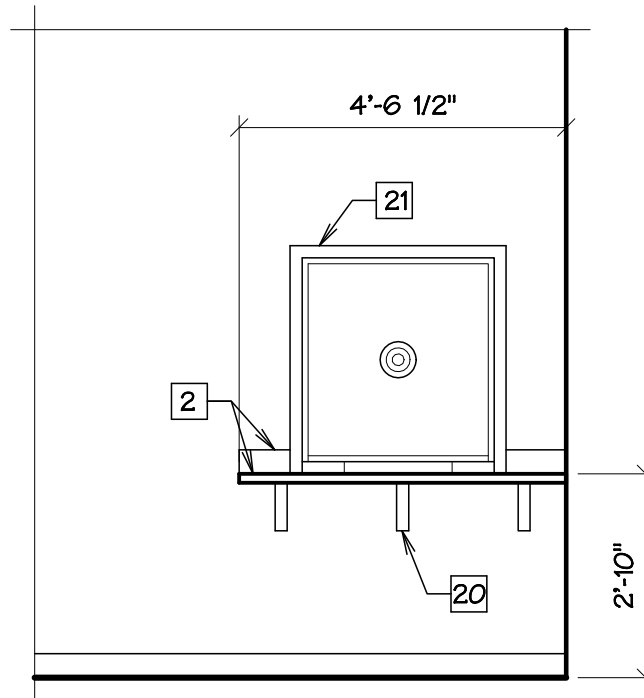
A300



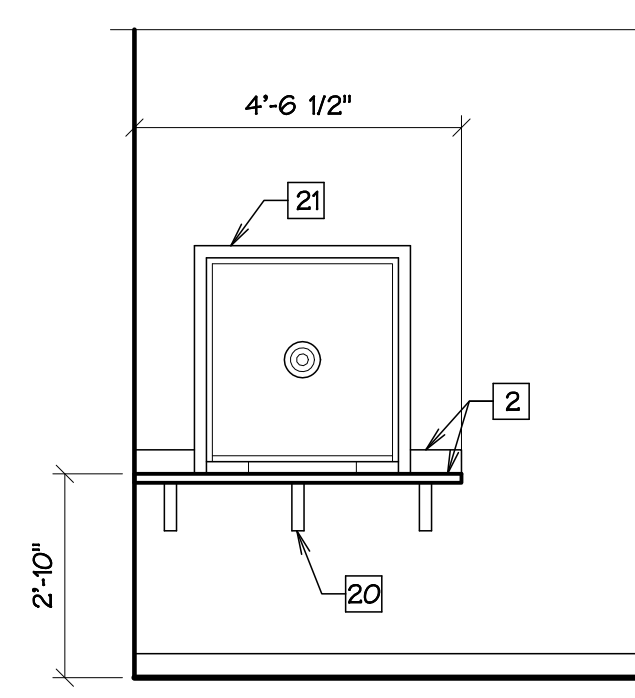
① LOBBY, EAST - 101
3/8" = 1' - 0"



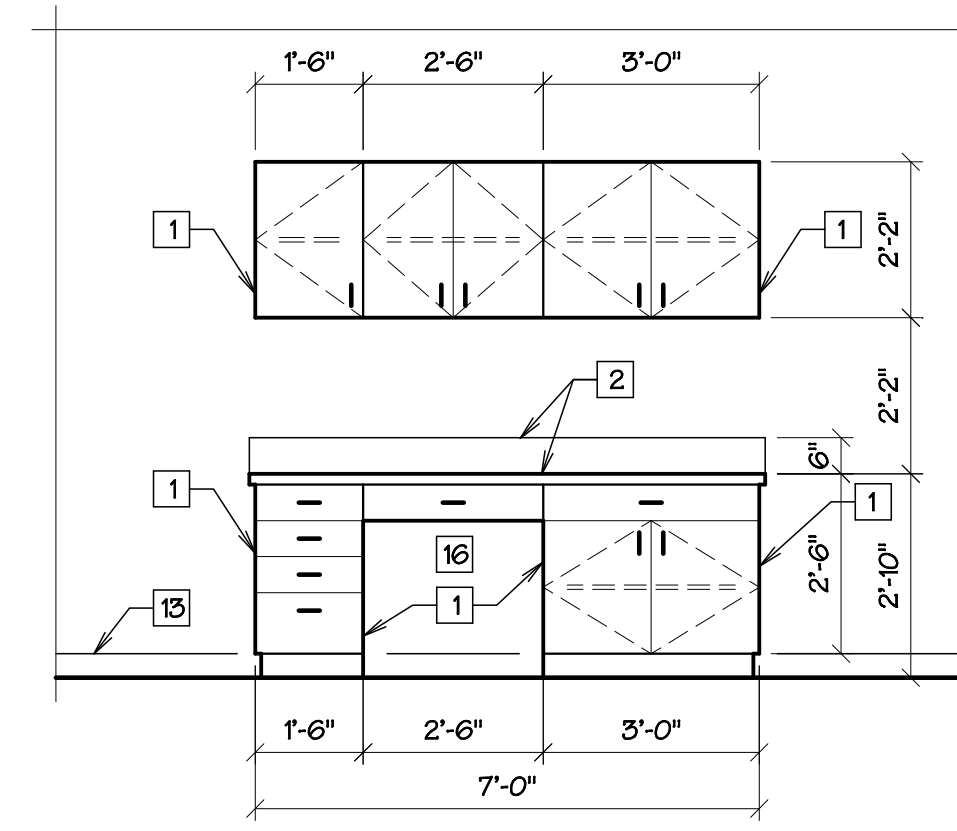
② LOBBY, WEST - 101
3/8" = 1' - 0"



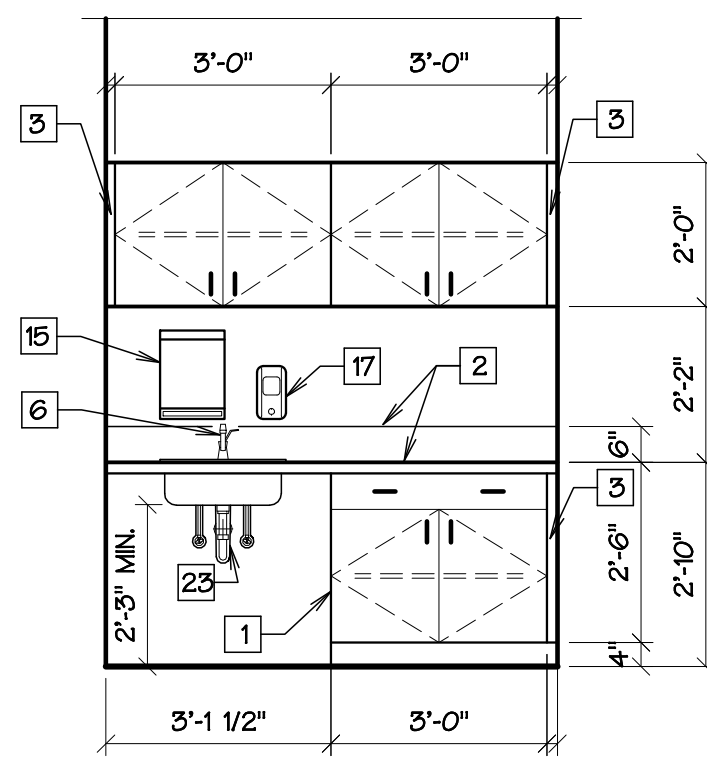
③ COURT CLERKS, EAST - 102
3/8" = 1' - 0"



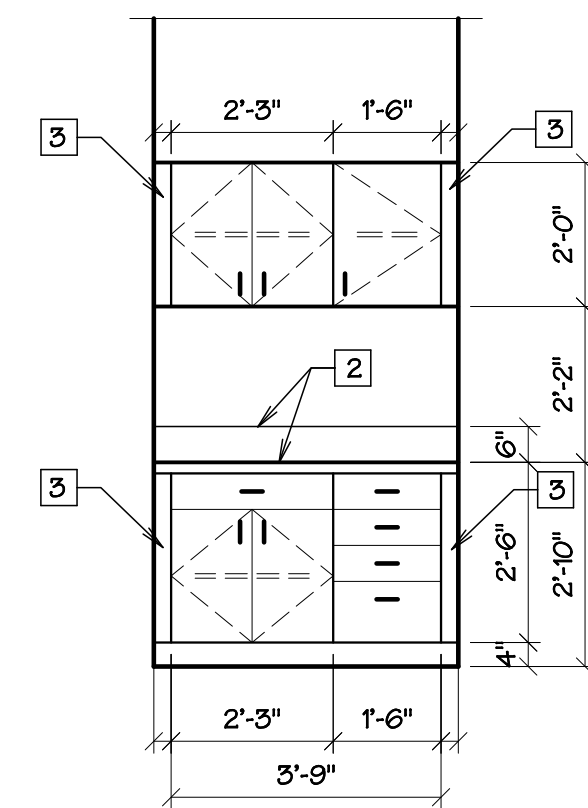
④ POLICE CLERKS, WEST - 136
3/8" = 1' - 0"



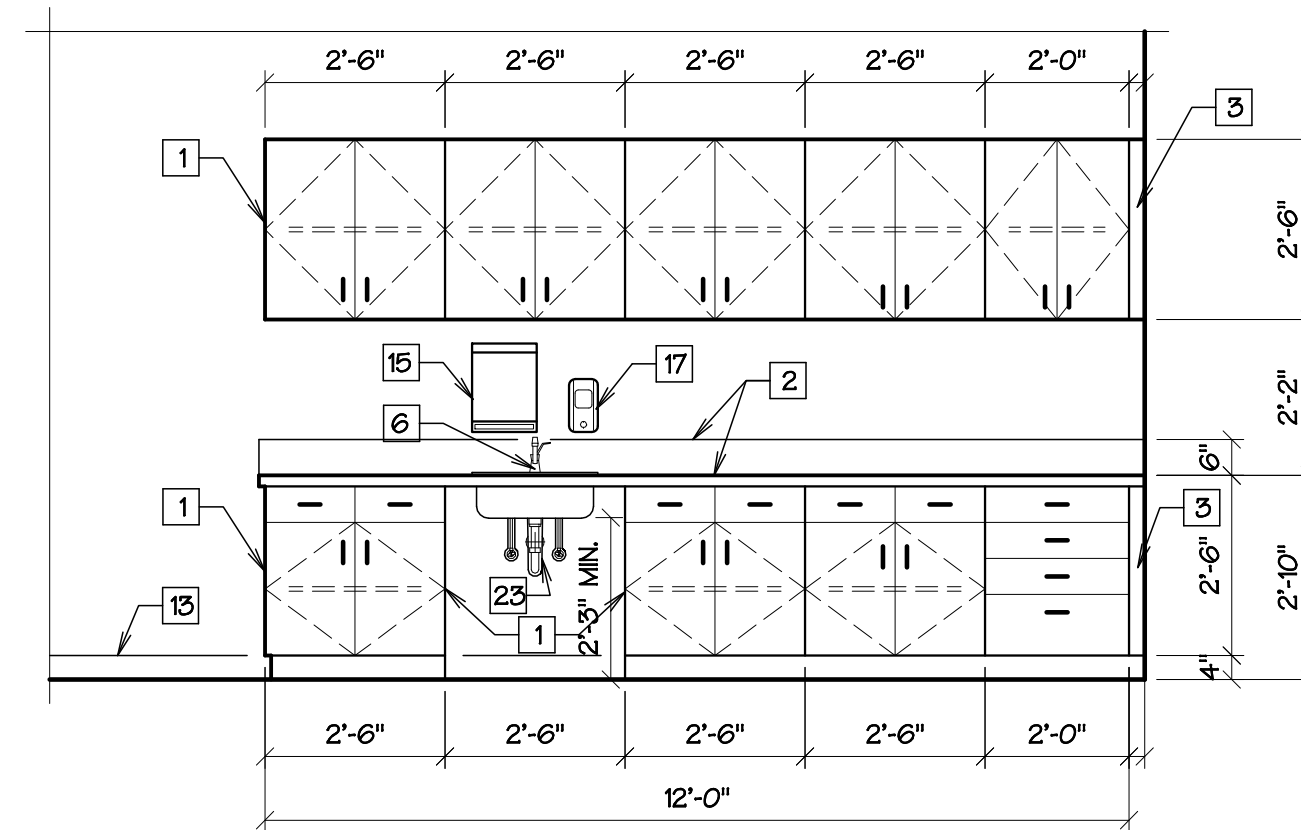
⑤ EVIDENCE - 112
3/8" = 1' - 0"



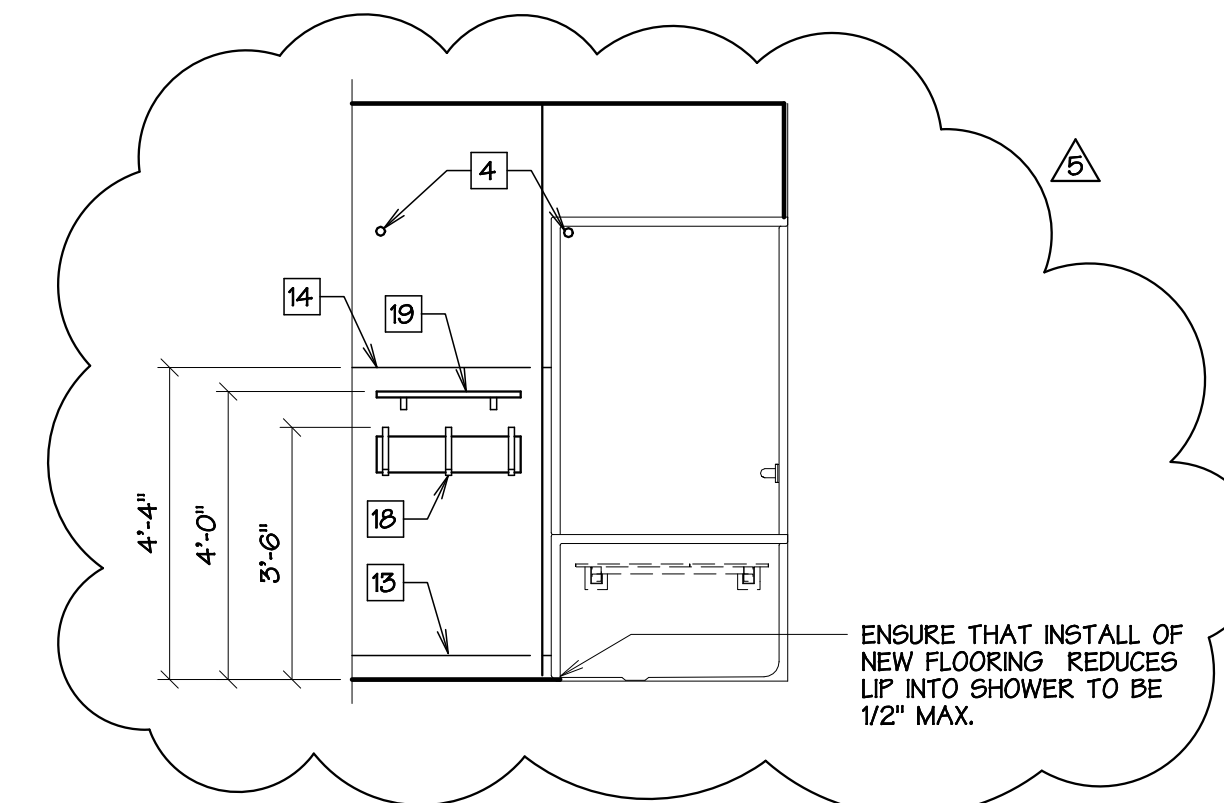
⑥ MULTI-PURPOSE - 116
3/8" = 1' - 0"



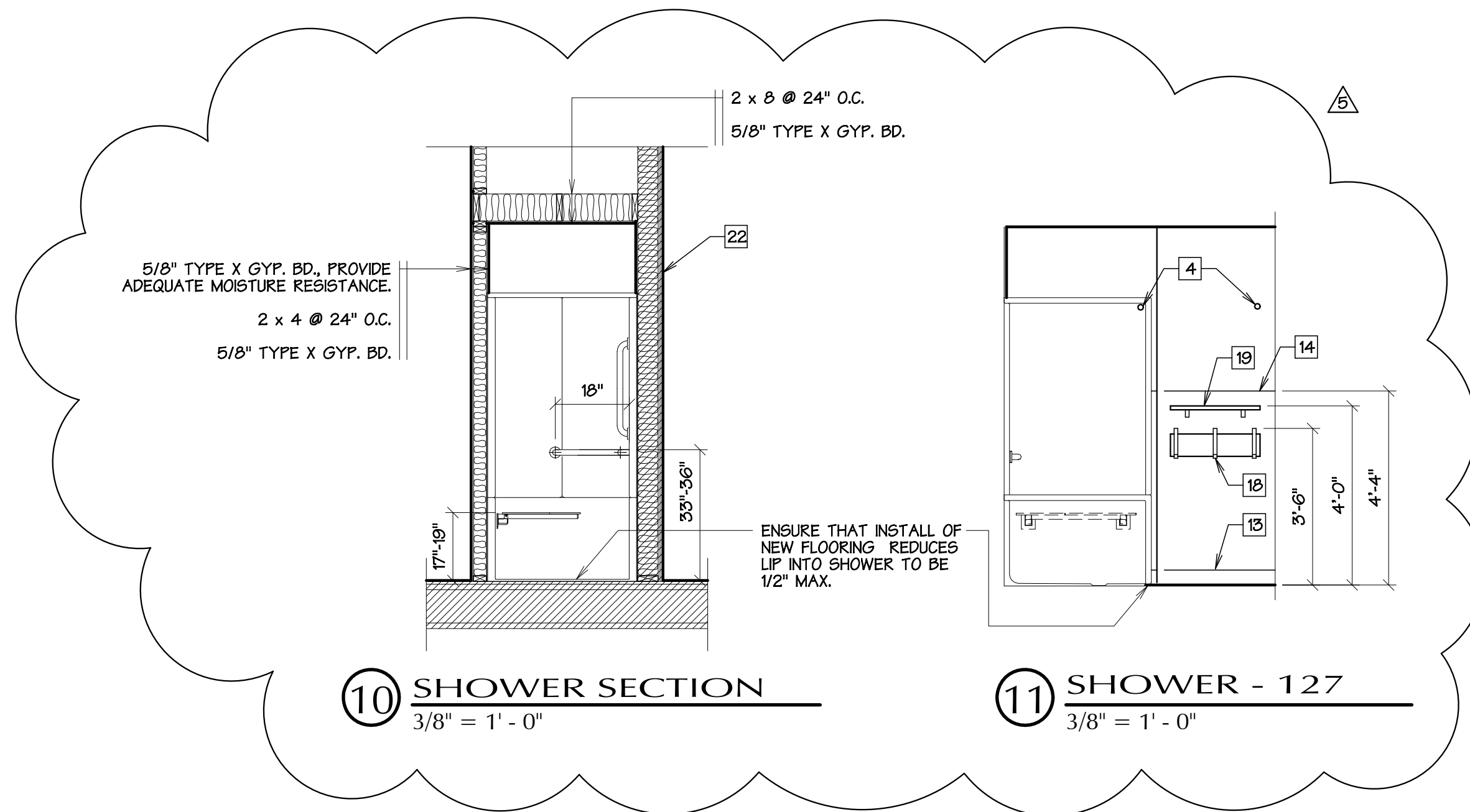
⑦ INTERVIEW - 120
3/8" = 1' - 0"



⑧ BREAK ROOM - 125
3/8" = 1' - 0"



⑨ SHOWER - 131
3/8" = 1' - 0"



⑩ SHOWER SECTION
3/8" = 1' - 0"

⑪ SHOWER - 127
3/8" = 1' - 0"

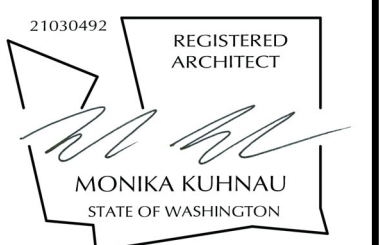
ELEVATION NOTES

- 1 FINISHED END PANEL, TYP.
- 2 PLASTIC LAMINATE TOP, FRONT, END, & BACKSPASH, TYP.
- 3 1-1/2" MIN. WALL SCRIBE, PAINTED OR PLASTIC LAMINATE, MATCH ADJACENT MATERIAL, TYP.
- 4 SHOWER ROD, TYP.
- 5 ADA SHOWER ASSEMBLY - SEE SPECIFICATIONS.
- 6 SINK ASSEMBLY - SEE SPECIFICATIONS.
- 7 GRAB BAR, TYP.
- 8 LOCATE FLUSH HANDLE ON RIGHT SIDE OF TANK.
- 9 SURFACE MIRROR, PROVIDE SECURE BACKING.
- 10 WALL MOUNTED DIAPER CHANGING STATION, PROVIDE SECURE BACKING.
- 11 SURFACE TOILET TISSUE DISPENSER W/ SHELF.
- 12 SURFACE TOILET SEAT COVER DISPENSER.
- 13 4" RUBBER BASE, TYP. PROVIDE RUBBER BASE AROUND BASE CABINETS, TYP.
- 14 FRP WAINSCOT, TYP. - SEE ROOM FINISH SCHEDULE.
- 15 SURFACE PAPER TOWEL DISPENSER. PROVIDE REQUIRED WALL BACKING.
- 16 SPACE FOR KNEE ROOM BENEATH COUNTERTOP.
- 17 SURFACE SOAP DISPENSER, PROVIDE SECURE BACKING.
- 18 SURFACE TOWEL HOOKS, PROVIDE SECURE BACKING.
- 19 WALL MOUNTED SHELF, PROVIDE SECURE BACKING.
- 20 WALL BRACKET AS REQUIRED, TYP.
- 21 SECURITY WINDOW ASSEMBLY, SEE SPECS.
- 22 EXISTING WALL.
- 23 PROVIDE INSULATED, PROTECTIVE COVER AT HOT WATER SUPPLY & WASTE PIPING, TYPICAL.

NOTE: ALL BASE CABINETS SHALL BE 24" DEEP & WALL CABINETS SHALL BE 12" DEEP UNLESS SHOWN OTHERWISE.

PERMIT SET

REVISIONS		
no	date	by
1	12.3.24	MFK



project number	21-45
date	7.18.2024
file name	2145 A300RD
drawn by	TDV
checked by	.
owner approval	_____

title
Interior Elevations & Sections

A301

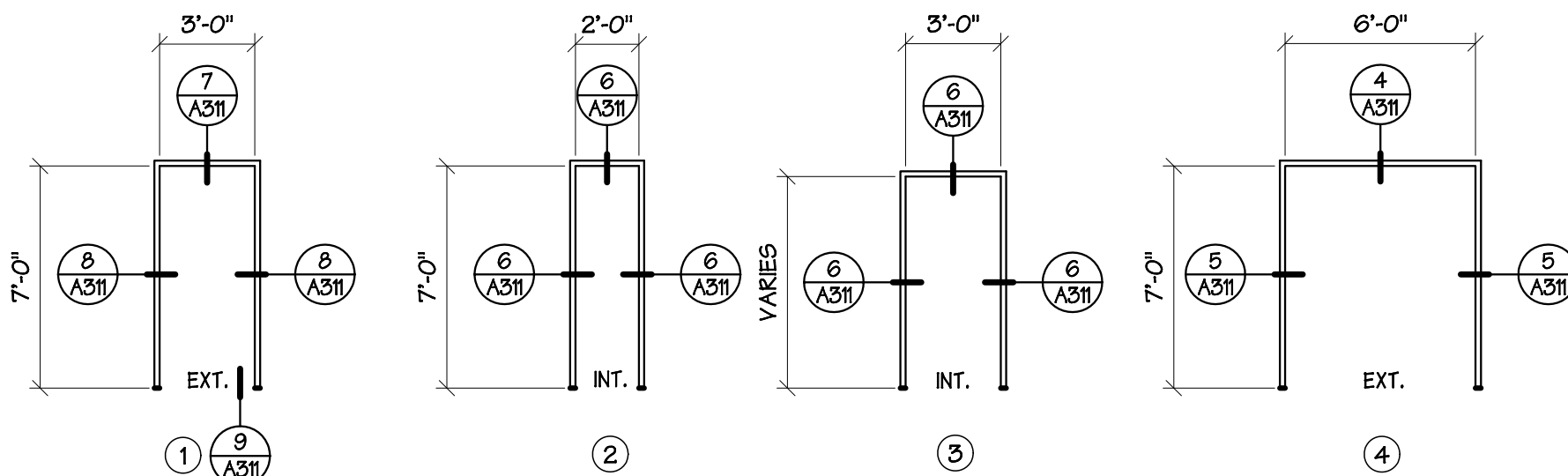
DOOR & FRAME SCHEDULE

NO.	SIZE			DOOR			FRAME			LABEL	HDW. GRP.	REMARKS
	WIDTH	HEIGHT	THICK.	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
101A	3'-0"	7'-0"	1 3/4"	D	ALUMINUM	PAINT	4	STEEL	PAINT	-	1	②
101B	3'-0"	6'-8"	1 3/4"	-	WOOD	STAIN	3	STEEL	PAINT	-	3	①
101C	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	2	①
102	3'-0"	7'-2"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	2	①
103	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	4	①
104	3'-0"	7'-0"	1 3/4"	-	WOOD	STAIN	3	STEEL	PAINT	-	5	①
105	3'-0"	7'-0"	1 3/4"	-	WOOD	STAIN	3	STEEL	PAINT	-	6	①
106	3'-0"	7'-0"	1 3/4"	-	WOOD	STAIN	3	STEEL	PAINT	-	6	①
107A	3'-0"	7'-0"	1 3/4"	-	WOOD	STAIN	3	STEEL	PAINT	-	7	①
107B	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	1	STEEL	PAINT	-	8	②
108	3'-0"	7'-0"	1 3/4"	C	WOOD	STAIN	3	STEEL	PAINT	-	6	①
109	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	1	STEEL	PAINT	-	8	②
110	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	1	STEEL	PAINT	-	2	①
111A	9'-0"	8'-0"	-	-	-	-	-	-	-	-	9	③
111B	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	1	STEEL	PAINT	-	8	②
112	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	3	STEEL	PAINT	-	2	②
113	3'-0"	7'-0"	1 3/4"	C	WOOD	STAIN	3	STEEL	PAINT	-	6	①
114	3'-0"	7'-0"	1 3/4"	C	WOOD	STAIN	3	STEEL	PAINT	-	6	①
117	3'-0"	7'-0"	1 3/4"	C	WOOD	STAIN	3	STEEL	PAINT	-	6	①
118	3'-0"	7'-0"	1 3/4"	-	WOOD	STAIN	3	STEEL	PAINT	-	4	①
119	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	2	①
120	3'-0"	7'-0"	1 3/4"	C	STEEL	PAINT	3	STEEL	PAINT	-	10	②
121	2'-0"	7'-0"	1 3/4"	B	WOOD	STAIN	2	STEEL	PAINT	-	11	①
122	3'-0"	7'-0"	1 3/4"	C	STEEL	PAINT	3	STEEL	PAINT	-	12	②
123A	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	3	STEEL	PAINT	-	2	②
123B	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	1	STEEL	PAINT	-	4	②
124	3'-0"	7'-0"	1 3/4"	A	STEEL	PAINT	3	STEEL	PAINT	-	2	②
125	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	4	①
128	3'-0"	7'-0"	1 3/4"	-	WOOD	STAIN	3	WOOD	PAINT	-	9	③
130	3'-0"	7'-0"	1 3/4"	-	WOOD	STAIN	3	WOOD	PAINT	-	9	③
132A	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	4	①
132B	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	4	①
136	3'-0"	7'-0"	1 3/4"	A	WOOD	STAIN	3	STEEL	PAINT	-	2	①

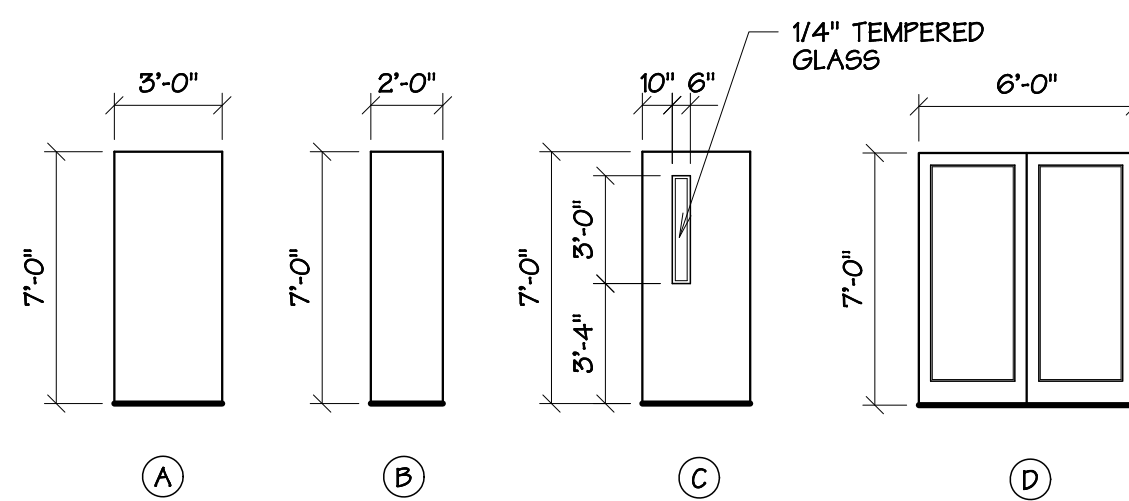
REMARKS

- ① SOLID-CORE DOORS
- ② METAL DOORS
- ③ EXISTING DOOR TO REMAIN UNCHANGED

NOTE: ALL U-VALUES FROM PRESCRIPTIVE ENERGY REQUIREMENTS, SEE A001.



1 FRAME DETAIL
3/16" = 1' - 0"

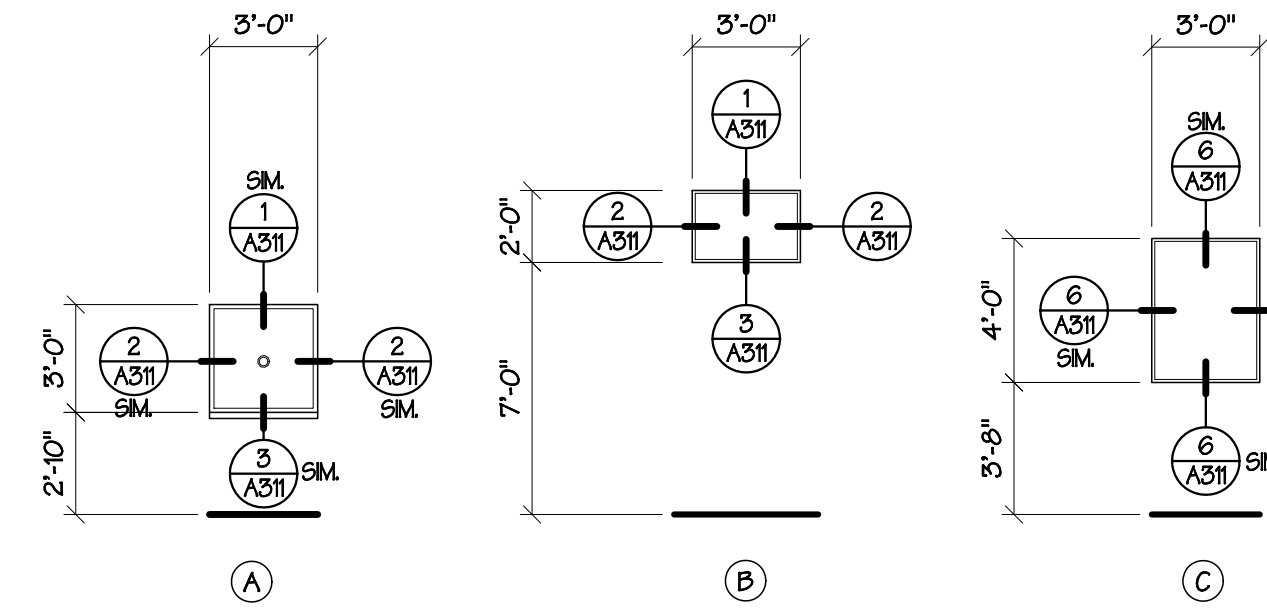


2 DOOR DETAIL
3/16" = 1' - 0"

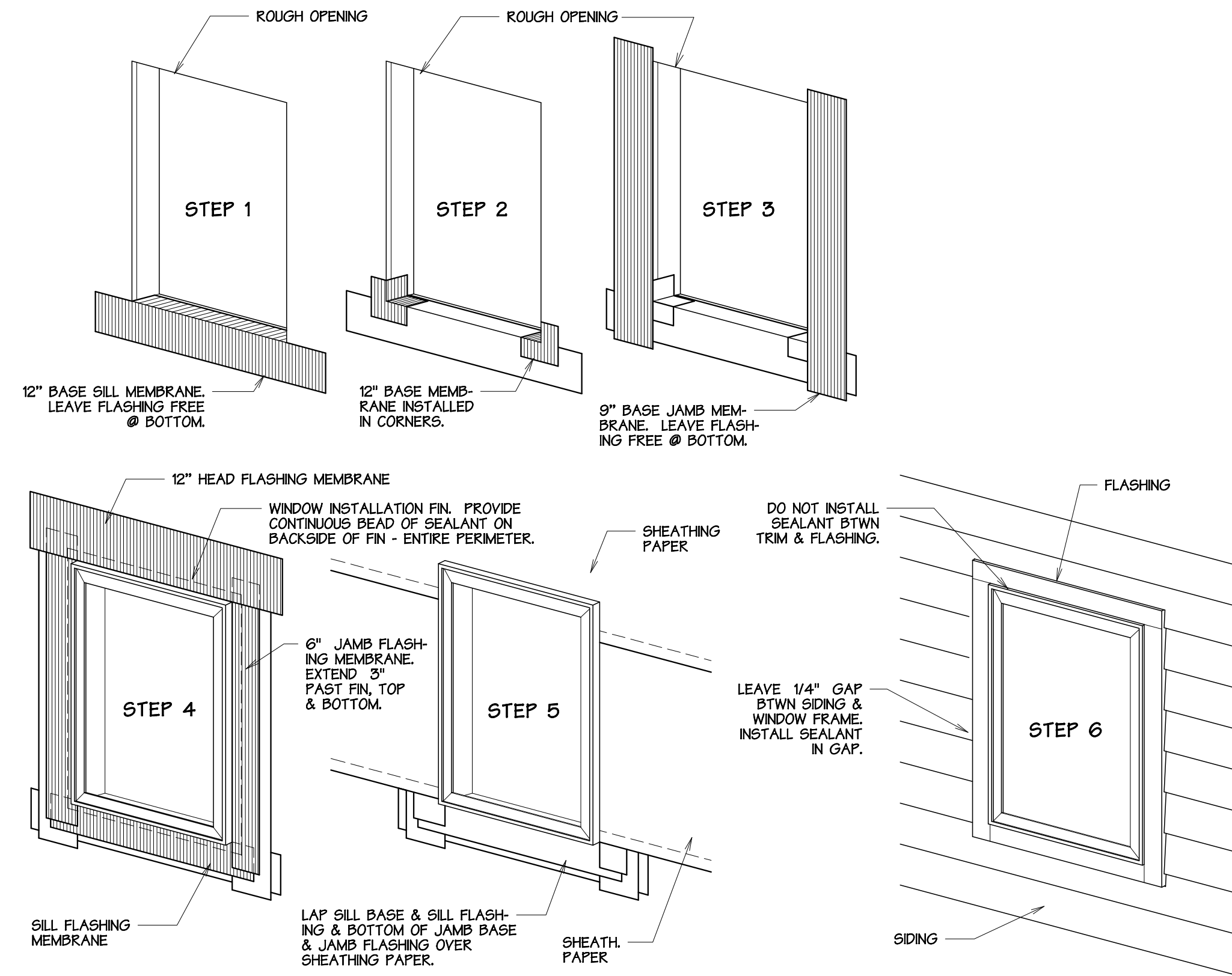
WINDOW SCHEDULE

FRAME			GLAZING					REMARKS		
TYPE	MATERIAL	FINISH	VENT. OP.	W x H	KIND	COLOR	MIN. U-FACTOR	PF	SHGC	
A	STEEL	FACTORY	FIXED	3'-0" x 3'-0"	INSUL.	CLEAR	0.23	NA	NA	① ③
B	STEEL	FACTORY	FIXED	4'-0" x 2'-0"	INSUL.	CLEAR	0.23	0.41	0.46	② ④
C	STEEL	FACTORY	FIXED	3'-0" x 4'-0"	INSUL.	CLEAR	0.23	NA	NA	③

- REMARKS**
- ① SERVICE WINDOW - SEE SPECS
 - ② WINDOW PART OF ADD. ALT. #1
 - ③ INTERIOR WINDOW
 - ④ EXTERIOR WINDOW



3 WINDOW TYPES
3/16" = 1' - 0"



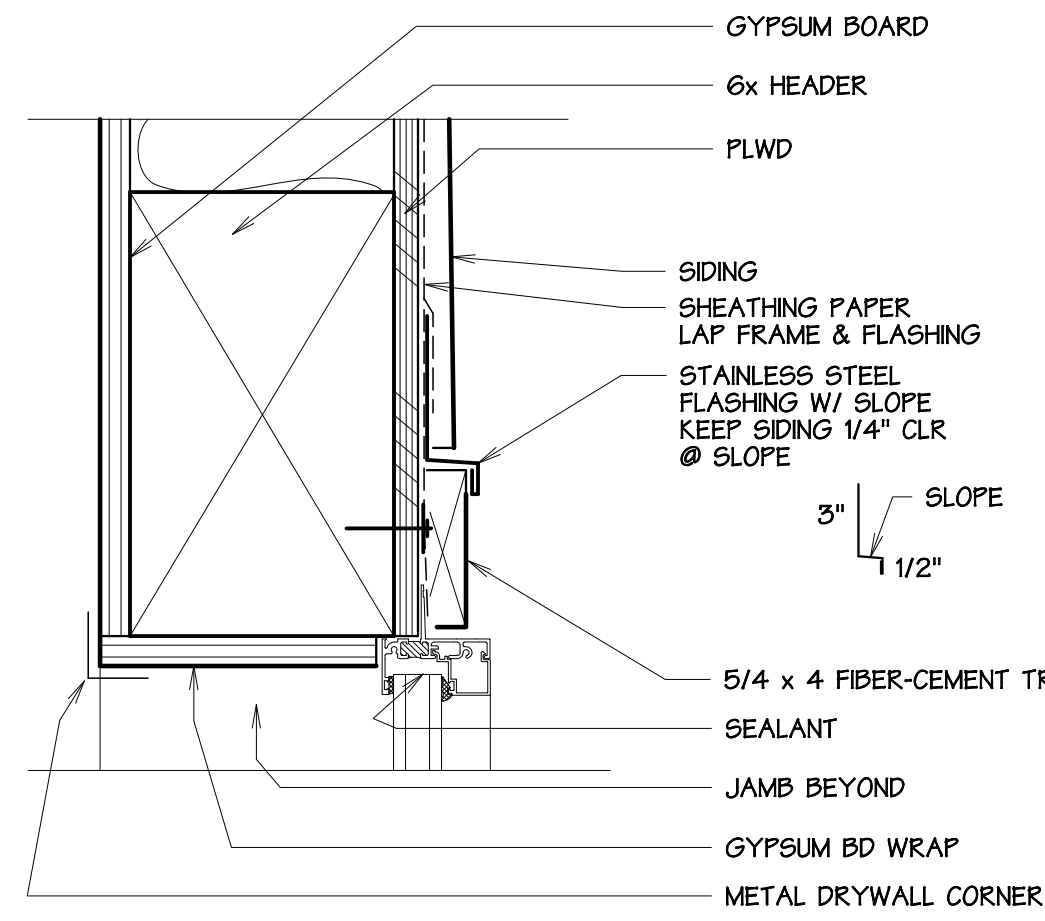
4 WINDOW FLASHING MEMBRANE DETAIL
N.T.S.

PERMIT SET

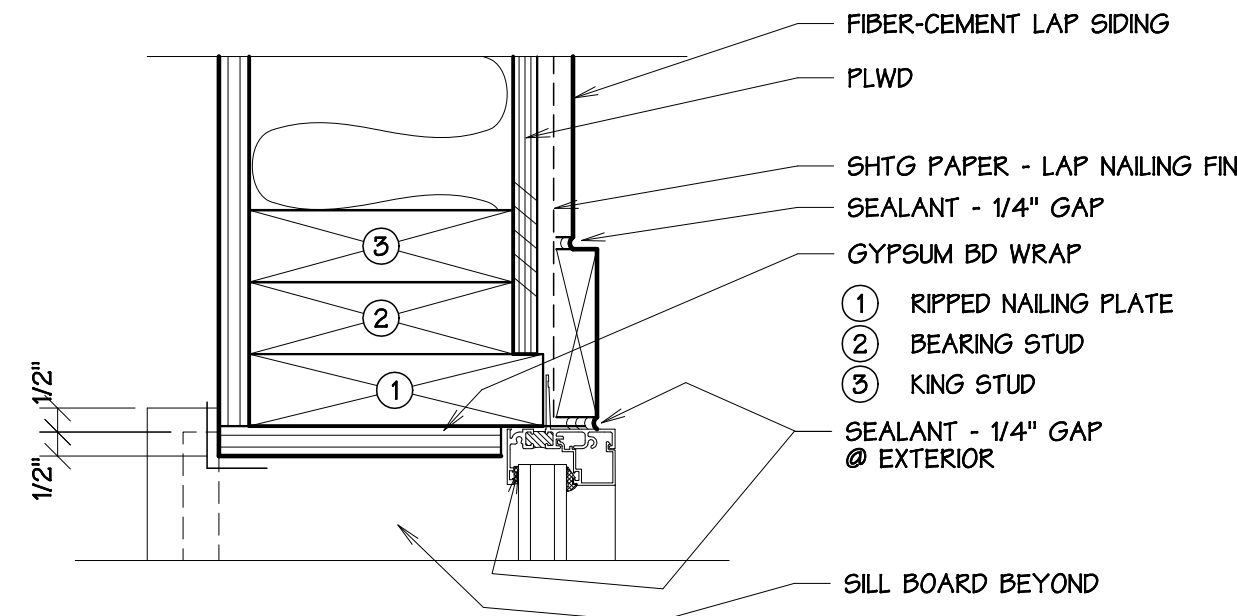
REVISIONS		
no	date	by
-	-	-

21030492 REGISTERED ARCHITECT
MONIKA KUHNIAU
STATE OF WASHINGTON

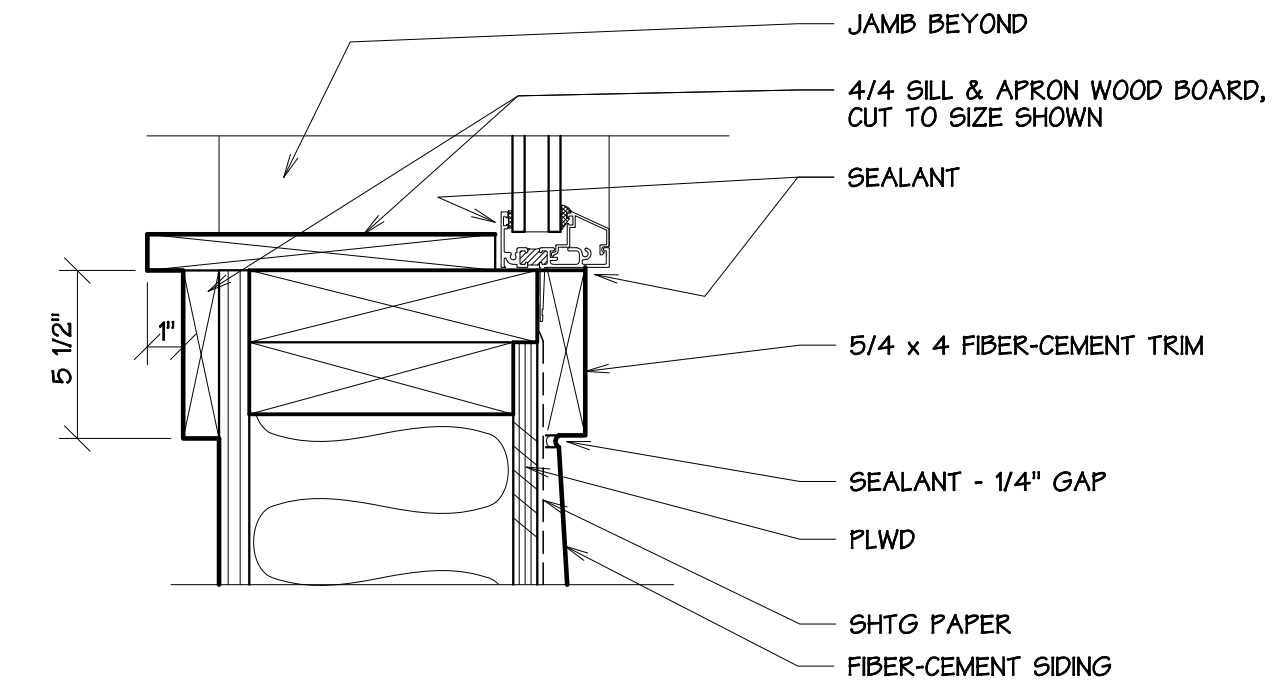
project number 21-45
date 7.18.2024
file name 2145 A300RD
drawn by TDV
checked by -
owner approval -
title
Window & Door Sched.,
Window Flashing &
Wall Details
A310



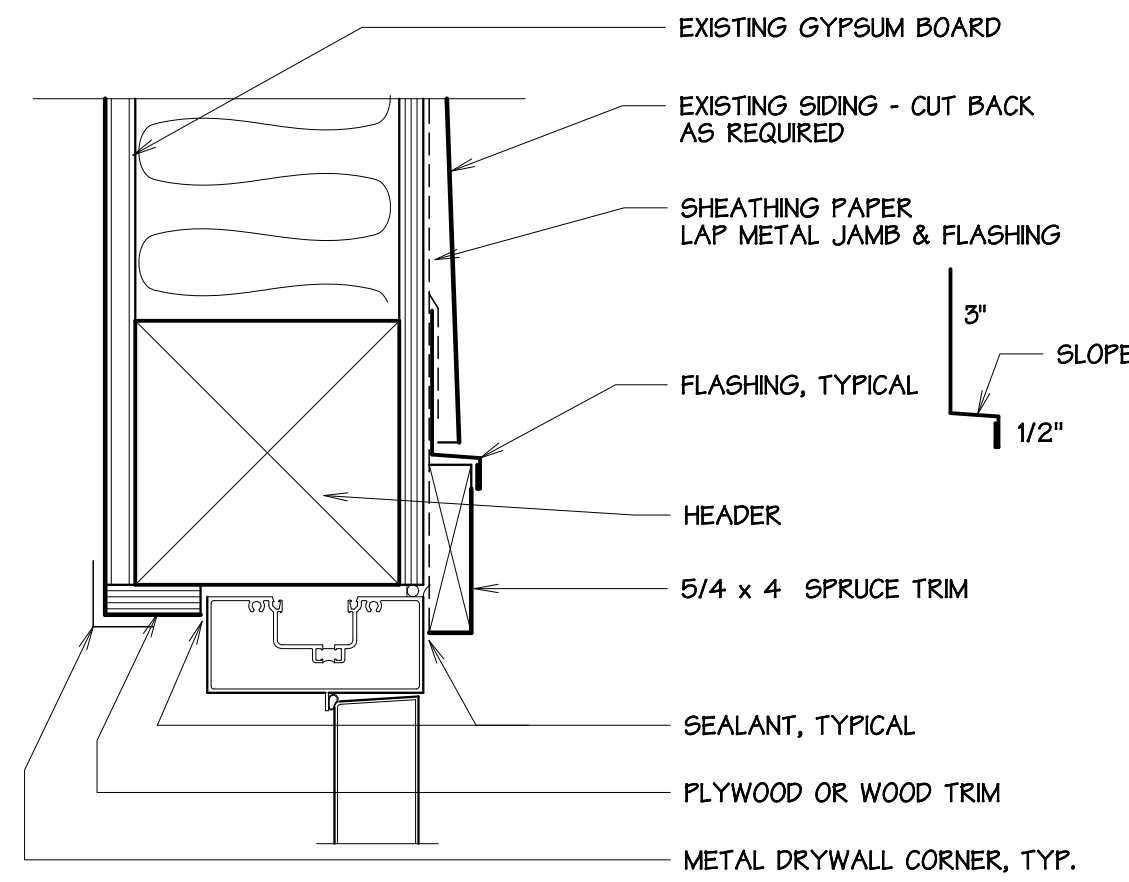
① WINDOW HEADER DETAIL
3" = 1' - 0"



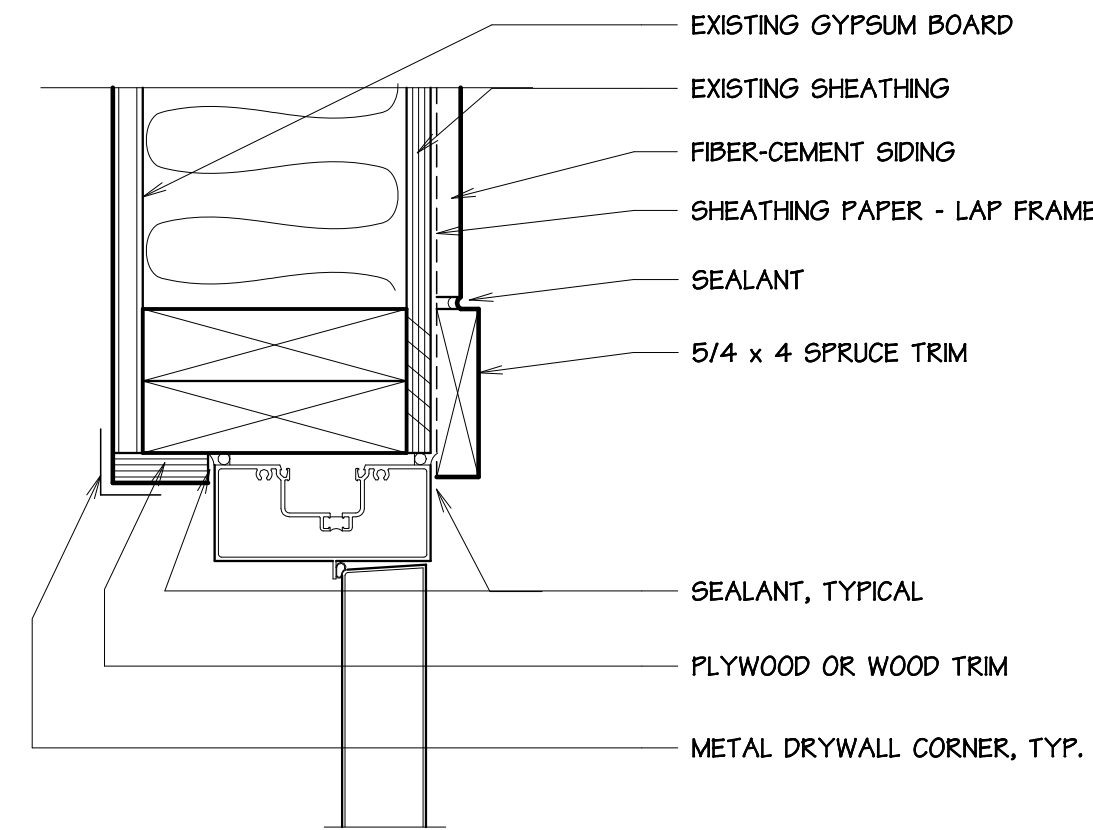
② WINDOW JAMB DETAIL
3" = 1' - 0"



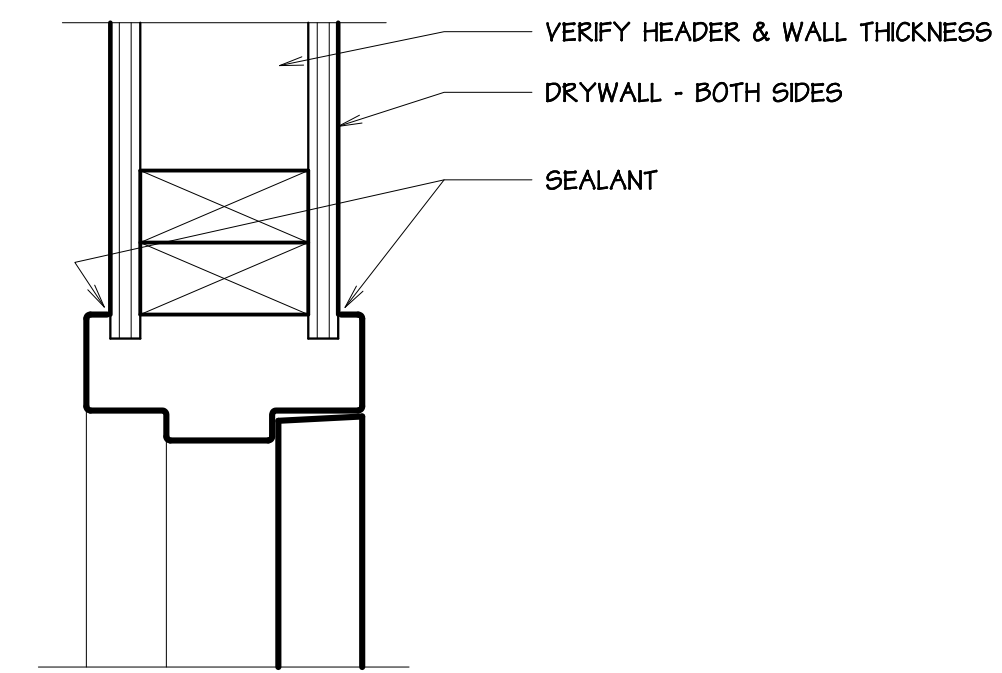
③ WINDOW SILL DETAIL
3" = 1' - 0"



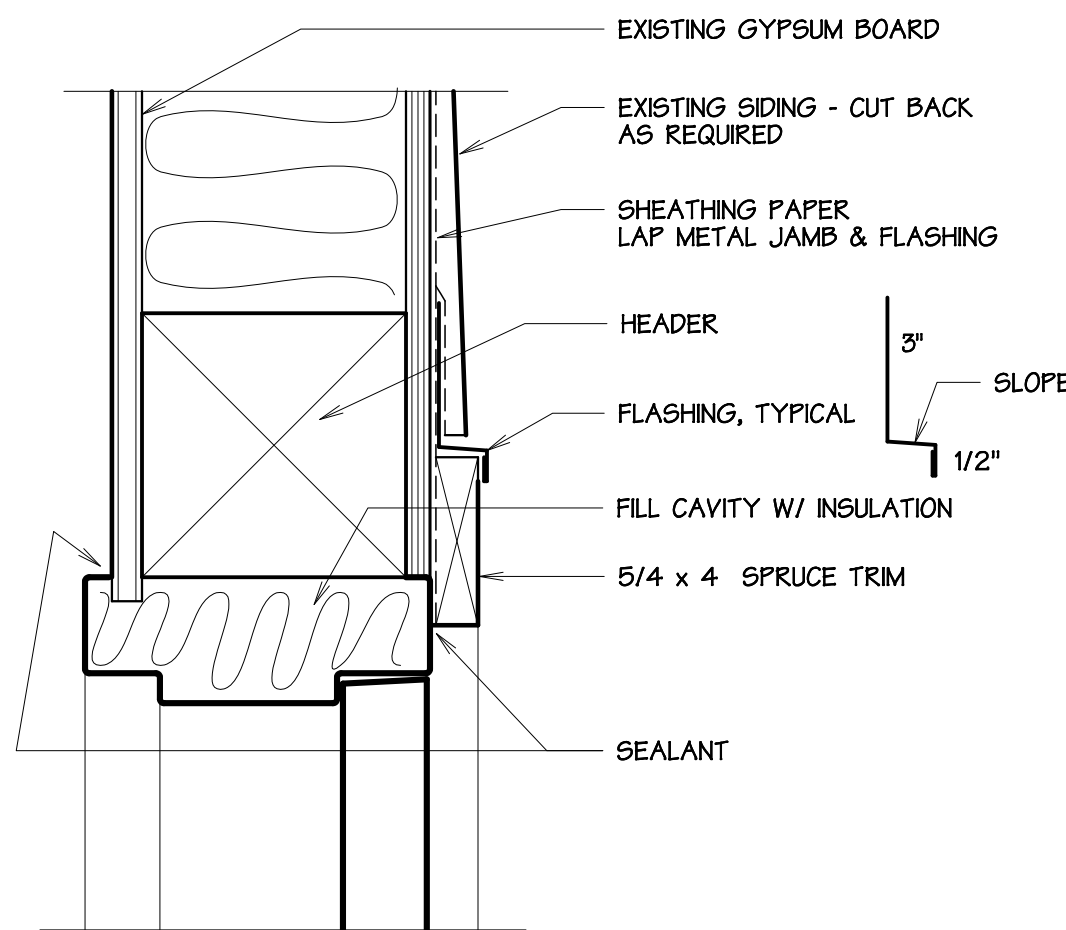
④ HEAD DETAIL
3" = 1' - 0"



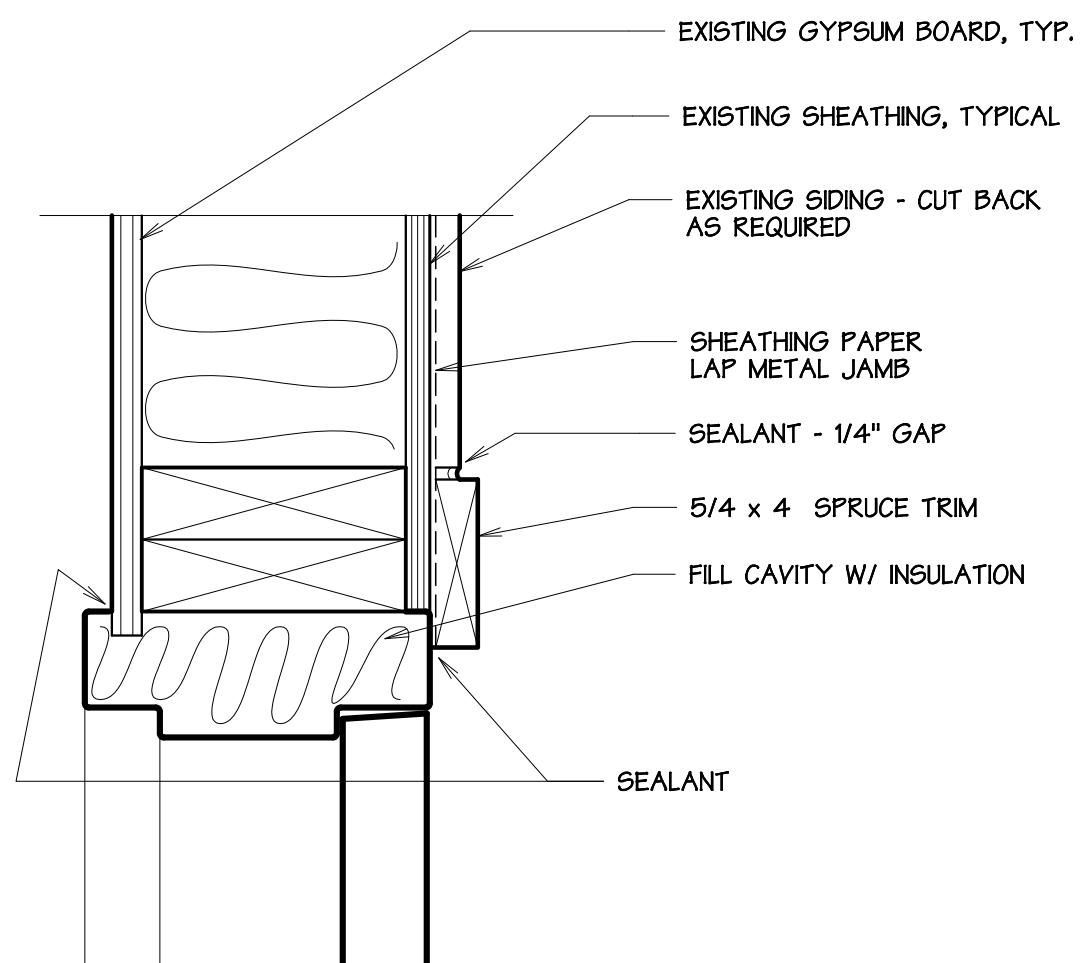
⑤ JAMB DETAIL
3" = 1' - 0"



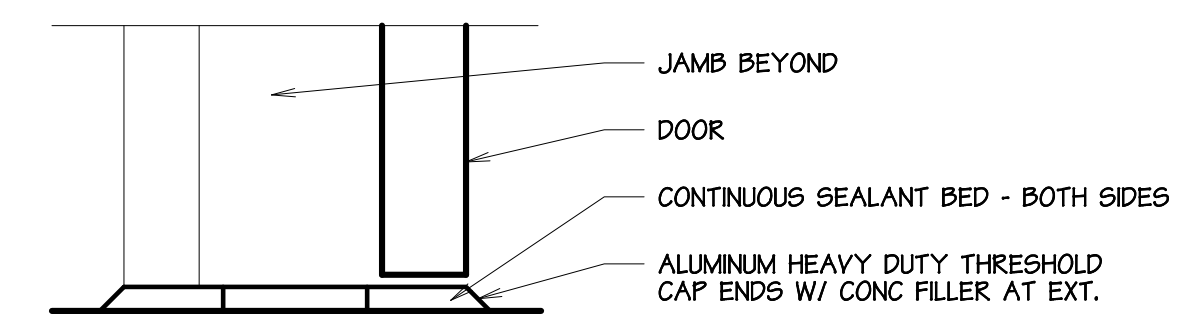
⑥ INT. STL JAMB/HEAD DETAIL
3" = 1' - 0"



⑦ HEAD DETAIL
3" = 1' - 0"



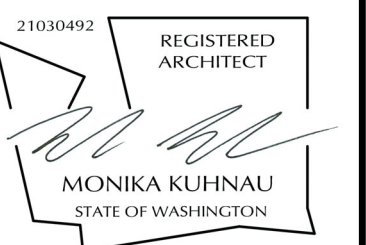
⑧ JAMB DETAIL
3" = 1' - 0"



⑨ EXT. STL DETAIL
3" = 1' - 0"

PERMIT SET

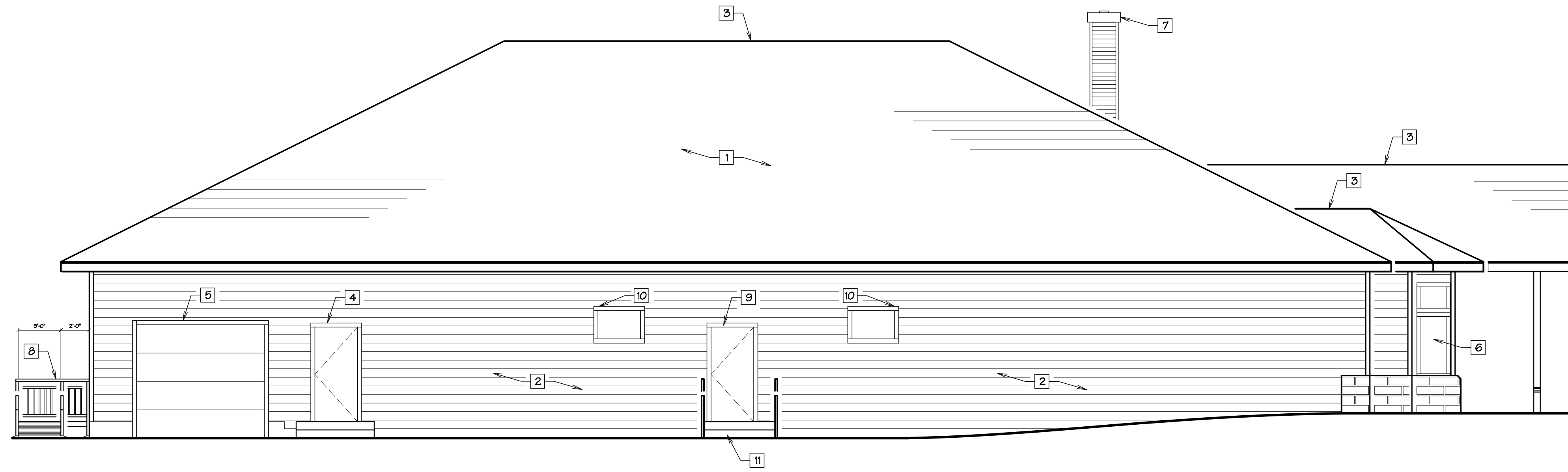
REVISIONS		
no	date	by
-	-	-



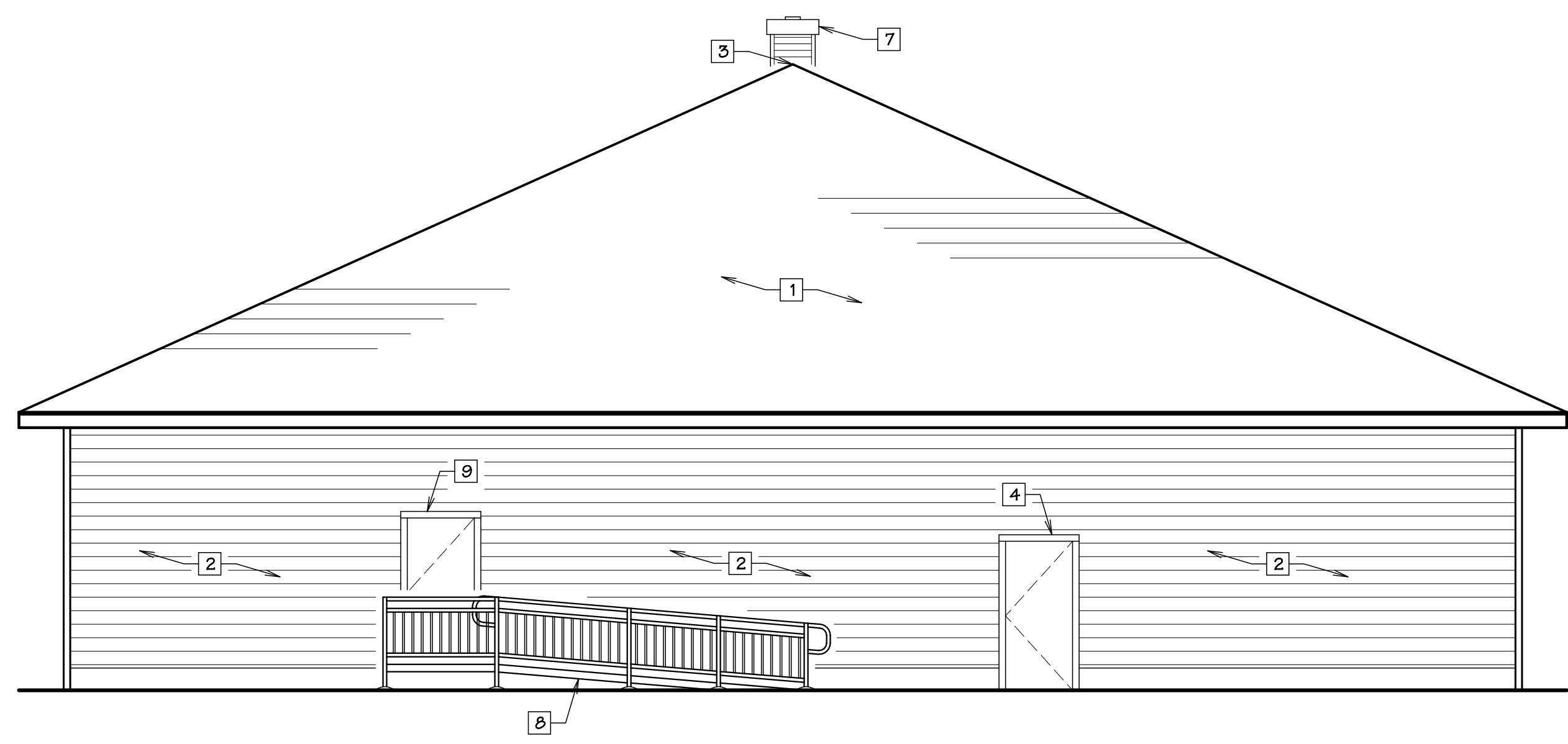
project number 21-45
date 7.18.2024
file name 2145 A300RD
drawn by TDV
checked by -
owner approval _____

title
Details & Notes

A311



1 WEST ELEVATION 3/16" = 1' - 0"
 0 4 12 24




2 NORTH ELEVATION 3/16" = 1' - 0"
 0 4 12 24

ELEVATION NOTES

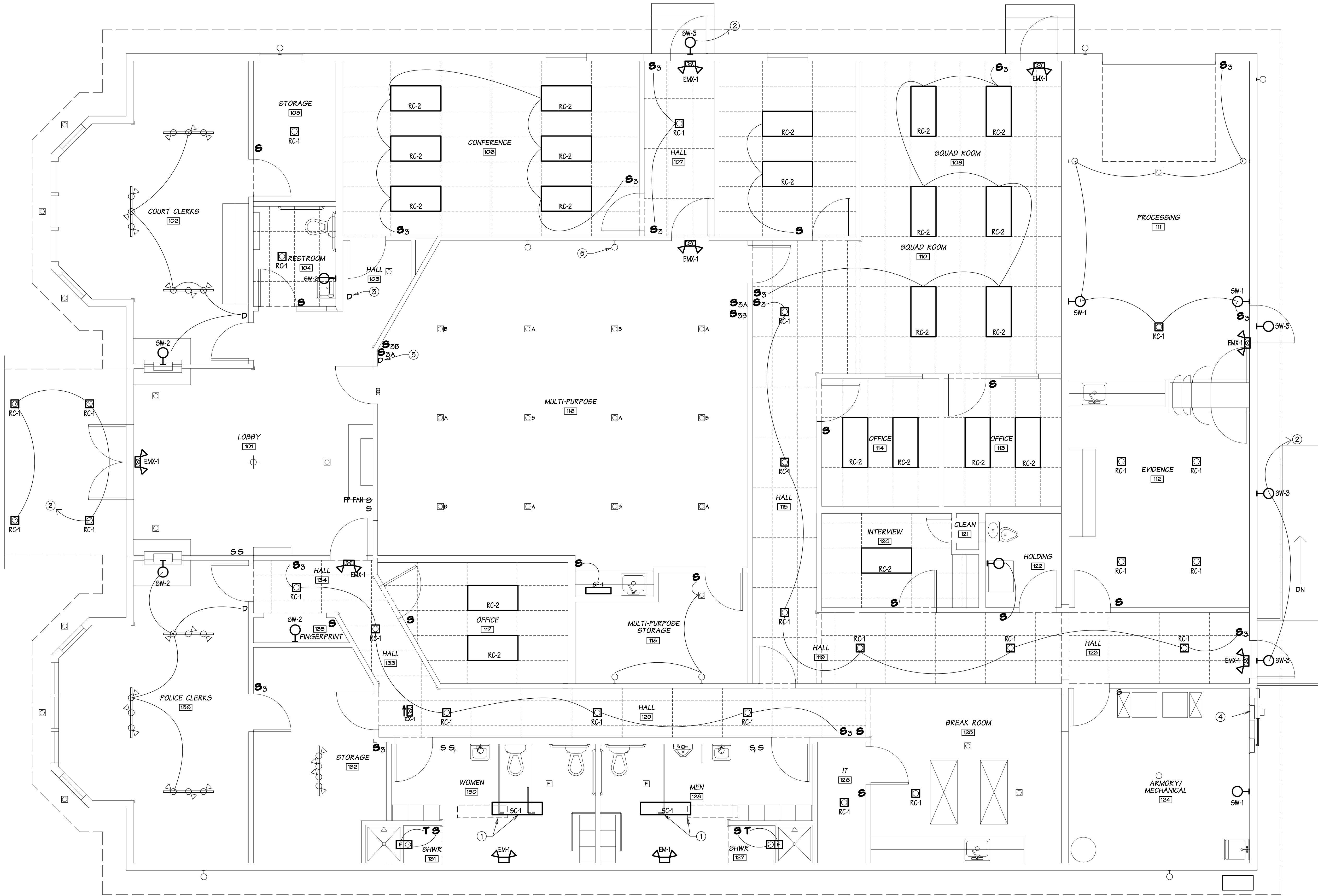
- 1 EXISTING ASPHALT SHINGLE ROOF @ 6:12 SLOPE, TYP.
- 2 EXISTING LAP SIDING, TYP.
- 3 EXISTING RIDGE VENT, TYP.
- 4 EXISTING DOOR.
- 5 EXISTING GARAGE DOOR.
- 6 EXISTING WINDOW.
- 7 EXISTING CHIMNEY.
- 8 NEW 14'-0" PREFABRICATED METAL ADA RAMP W/ 1:12 SLOPE MAX.
- 9 NEW 3'-0" x 6'-8" DOOR.
- 10 NEW 3'-0" x 2'-0" WINDOW.
- 11 NEW PREFABRICATED STAIRS & RAIL.

PERMIT SET		
REVISIONS		
no	date	by
-	-	-

21030492 REGISTERED ARCHITECT

 MONIKA KUHNAU
 STATE OF WASHINGTON

project number	21-45
date	7.18.2024
file name	2145 A400RD
drawn by	TDV
checked by	-
owner approval	_____
tenant approval	_____
title	Exterior Elevations

A400



PLAN NOTES

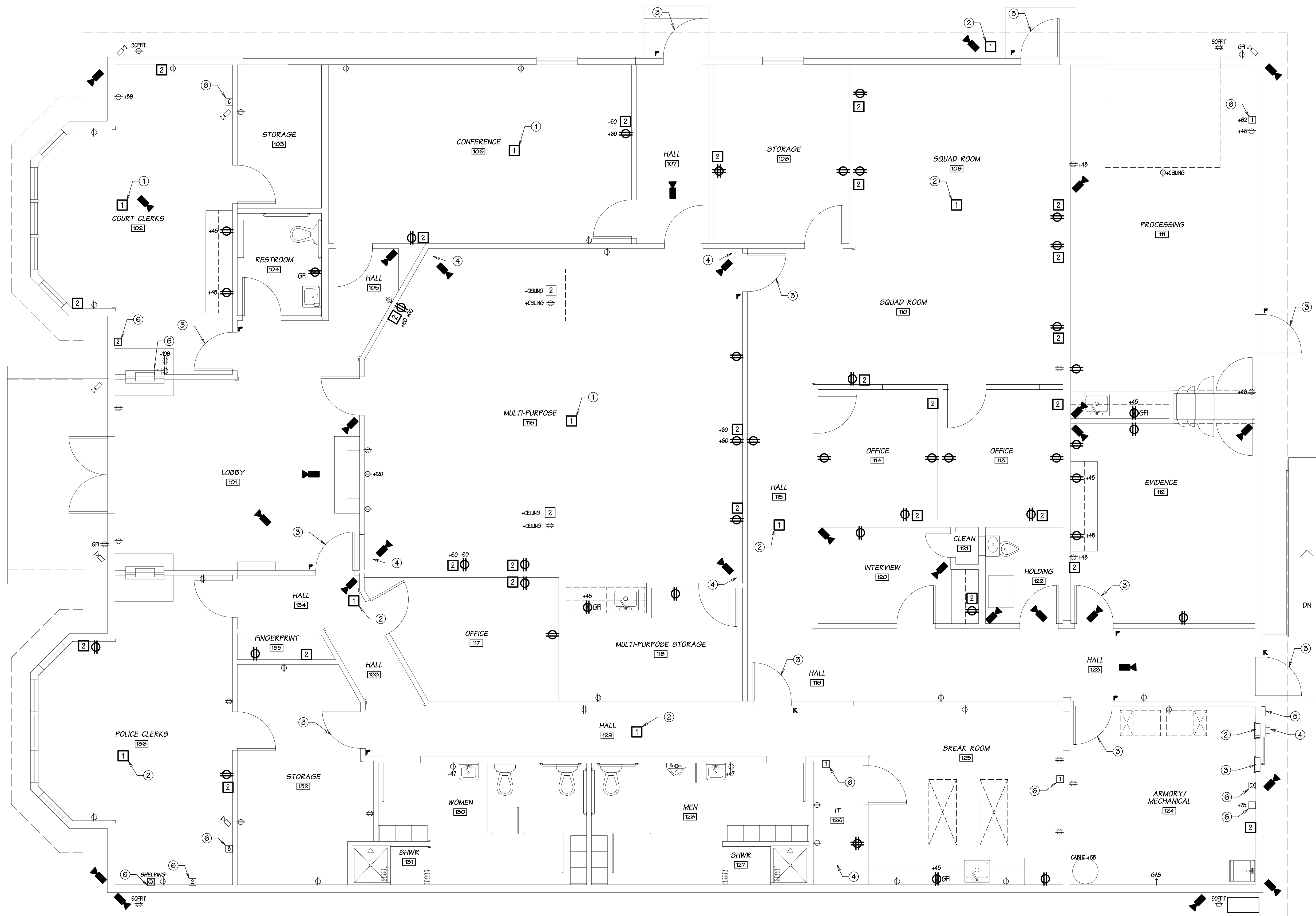
- ① REMOVE EXISTING FIXTURE & DISPOSE OFF SITE. INSTALL NEW FIXTURE IN LOCATION THAT IS CLEAR OF NEW SHOWER ENCLOSURE WALL. CONTROL NEW FIXTURE W/ EXISTING SWITCH.
- ② TO PHOTOCELL.
- ③ EXISTING DIMMER SWITCH CONTROLS HALL FIXTURE.
- ④ SEE SHEET E211 FOR EXISTING ELECTRICAL & TELECOM ENCLOSURES.
- ⑤ EXISTING WALL SCONCES IN THIS ROOM CONTROLLED BY EXISTING DIMMER SWITCH.

SYMBOL LEGEND

- S D EXISTING SWITCH (D = DIMMER)
- S NEW SINGLE POLE SWITCH
- S3 NEW THREE-WAY SWITCH
- D NEW SINGLE POLE DIMMER SWITCH
- T NEW TIMER SWITCH (0-30 M)
- EXISTING RECESSED FIXTURE
- NEW OR RELOCATED RECESSED FIXTURE
- EXISTING FLUORESCENT FIXTURE
- NEW SURFACE FIXTURE
- EXISTING EXIT SIGN
- NEW ILLUMINATED EXIT SIGN
- EXISTING EXIT SIGN-EMERGENCY LIGHT
- NEW EXIT SIGN-EMERGENCY LIGHT
- EXISTING EMERGENCY LIGHT
- NEW EMERGENCY LIGHT
- EXISTING SURFACE FIXTURE TO BE REMOVED
- EXISTING SURFACE FIXTURE
- NEW SURFACE FIXTURE
- EXISTING SURFACE FIXTURE
- EXISTING PENDANT FIXTURE
- NEW SURFACE MTD WALL FIXTURE
- EXISTING TRACK & TRACK LIGHTS
- NEW TRACK & TRACK LIGHTS
- EXISTING EXHAUST FAN
- NEW EXHAUST FAN-LIGHT COMBINATION
- EXISTING DUPLEX RECEPTACLE OUTLET
- ② EXISTING VOICE/DATA OUTLET - NUMBER OF PORTS



PERMIT SET	
REVISIONS	
no	
project number	21-45
date	7.18.2024
file name	2145 A210RD
drawn by	MFK
checked by	ACG
owner approval	
title	
Schematic Lighting Plan	
E210	



SYMBOL LEGEND

- ⊕ EXISTING DUPLEX RECEPTACLE OUTLET
- ⊕ NEW DUPLEX RECEPTACLE OUTLET
- ⊕ NEW FOUR-PLEX RECEPTACLE OUTLET
- ⊕ GFI NEW GFCI - DUPLEX RECEPTACLE OUTLET
- ⊕ NEW SPECIAL PURPOSE OUTLET (CONFIRM REQUIREMENTS)
- EXISTING VOICE/DATA OUTLET
- 2 NEW VOICE/DATA OUTLET - NUMBER OF PORTS
- ⊕ EXISTING JUNCTION BOX (CEILING) TO REMAIN
- ⊕ NEW JUNCTION BOX W/ COVER
- ⊕ EXISTING WALL JUNCTION BOX TO REMAIN
- ⊕ NEW WALL JUNCTION BOX W/ COVER
- ▶ NEW IP CAMERA - PROVIDED BY OWNER, CONTRACTOR TO PROVIDE DROP
- ◻ EXISTING CAMERA
- ▶ PROX. READER
- Ⓚ 10-KEY KEYPAD LOCK

PLAN NOTES

- 1 IN-CEILING ACCESS POINT, RELOCATE EXISTING CABLES AS REQ. TYP.
- 2 IN-CEILING ACCESS POINT, PD ONLY. RELOCATE EXISTING CABLES AS REQ. TYP.
- 3 ACCESS CONTROL DOOR, TYP. - WIRING BY CONTRACTOR, ACCESS HARDWARE BY OWNER.
- 4 IN-CEILING NETWORK CABLE DROP INTO LT. ROOM, RELOCATE EXISTING CABLES AS REQ.
- 5 INCLUDE KEYPAD LOCK @ DOOR, TYP.
- 6 RE-ROUTE ALL EXISTING DATA CONNECTIONS TO THE NEW ROOM, LT. 126.



PERMIT SET

REVISIONS	
no	

project number 21-45
 date 7.18.2024
 file name 2145 E211RD
 drawn by MFK
 checked by ACG
 owner approval _____

title
 Schematic
 Electrical
 Plan &
 Notes

E211

REVISIONS	BY

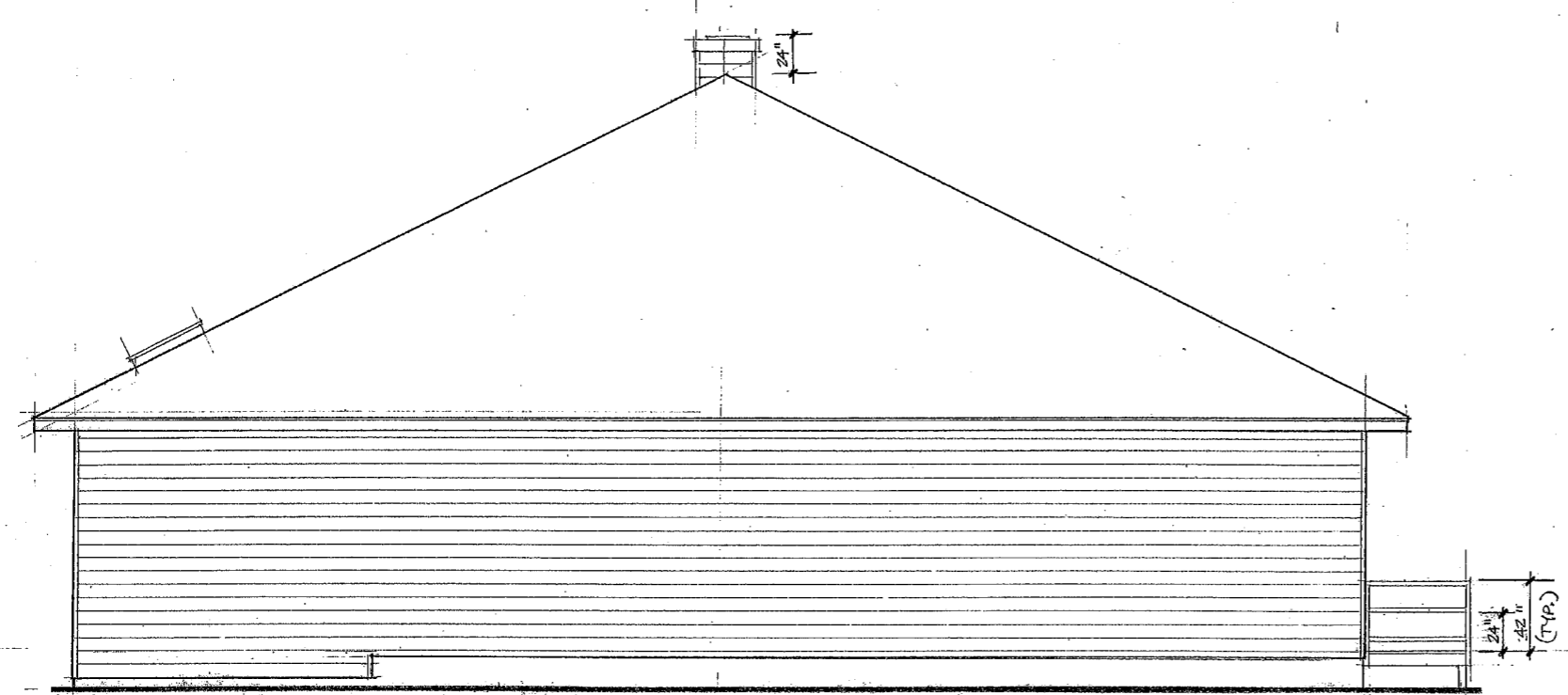
Larry Lauritzen
Lead & Glass Images
966 N. Jeffries St.
Aberdeen, WA 98520

INDEX
NORTH ELEVATION
SOUTH ELEVATION
SITE PLAN

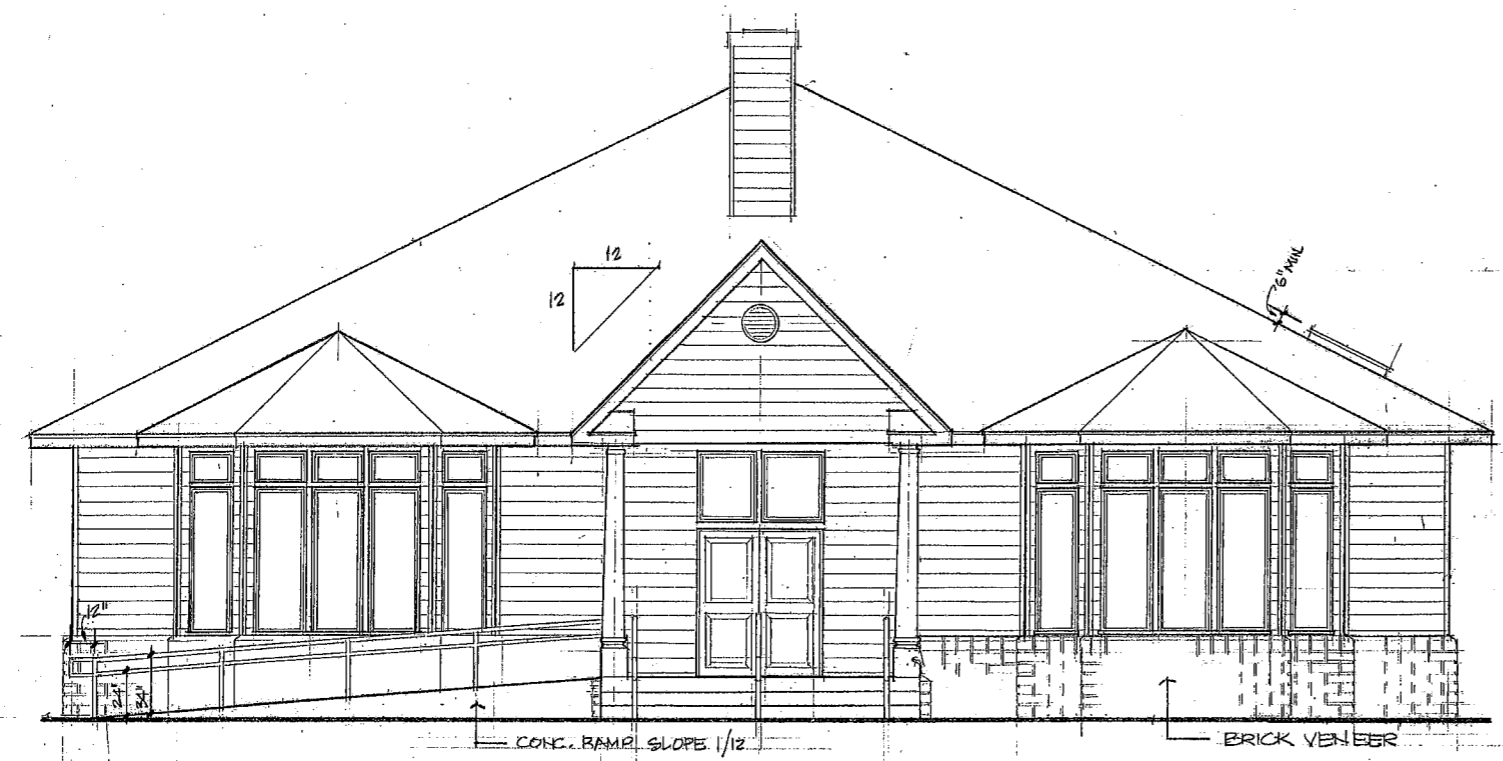
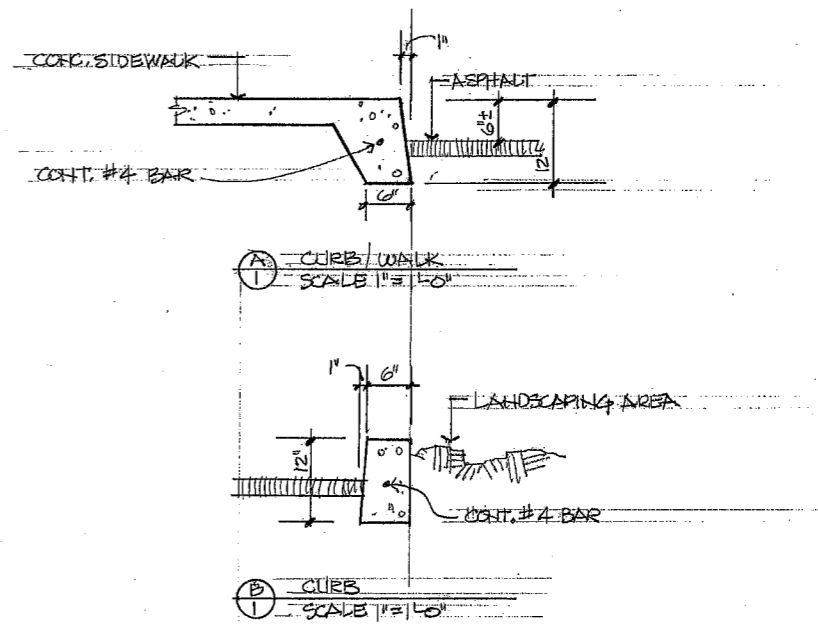
PROJECT
COMMERCIAL
FUNERAL CHAPEL
ATTACHED GARAGE

OWNER
WHITESIDE
224 WEST YOUNG
BLVD, WA 98544
PHONE: (360) 457-2092
FAX: (360) 457-2016

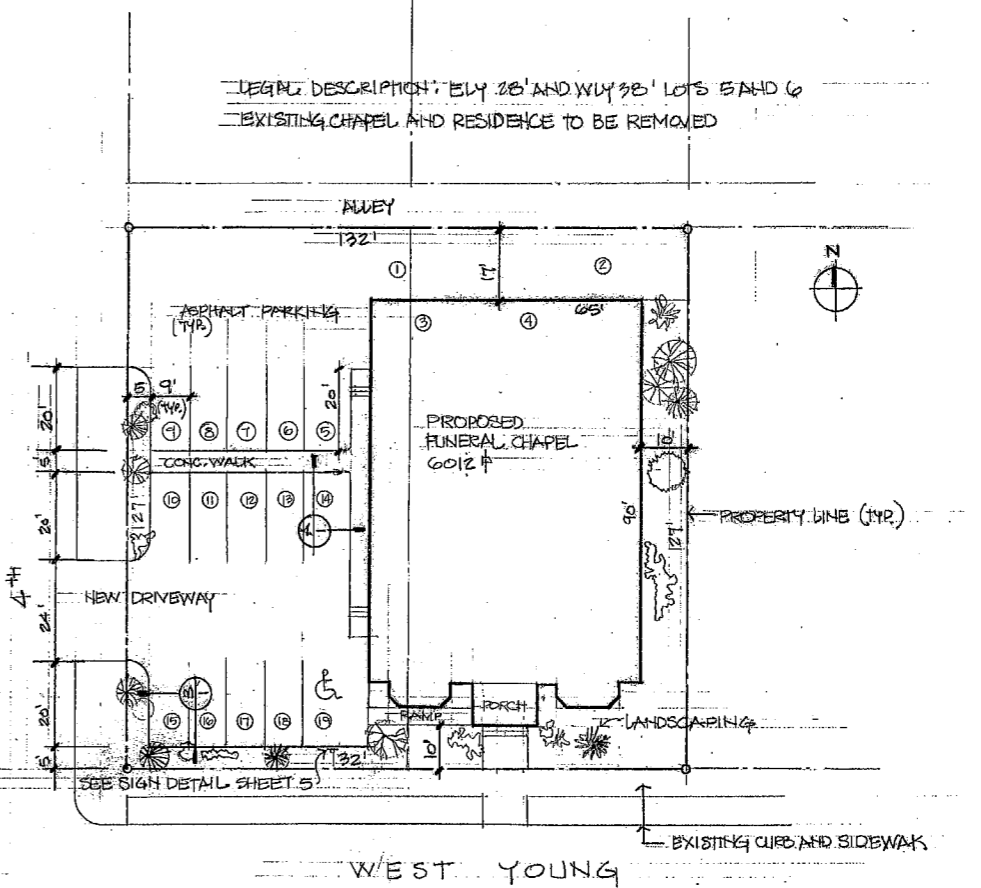
Date	9/16/99
Scale	AS SHOWN
Drawn	L.L.
Job	WHITESIDE
Sheet	1
Of	7 Sheets



NORTH ELEVATION
SCALE 1/4" = 1'-0"



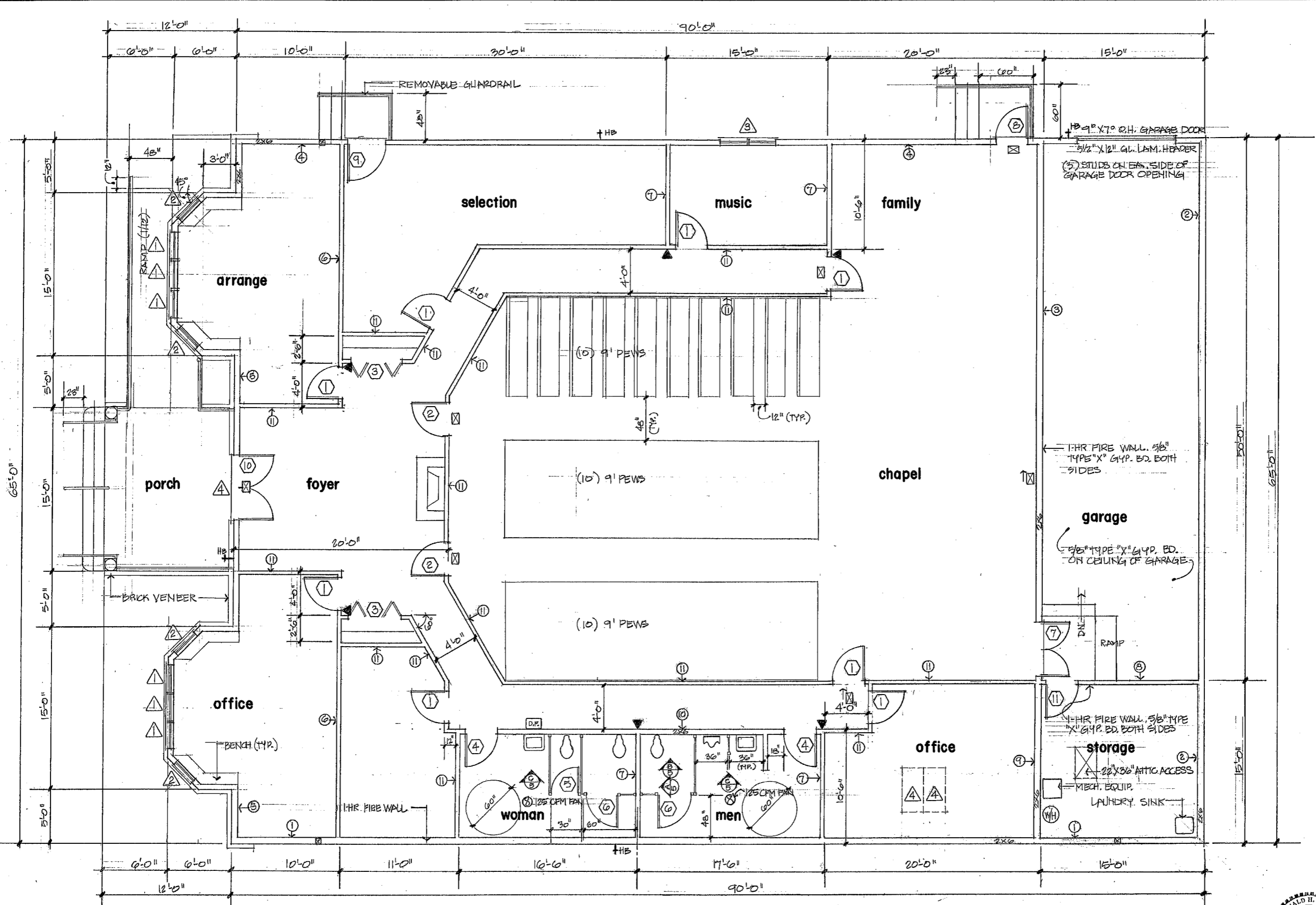
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



SITE PLAN
SCALE 1" = 20'



REVISIONS	BY



FLOOR PLAN
SCALE 1/4" = 1'-0"



INDEX
FLOOR PLAN

PROJECT
COMMERCIAL CHAPEL
MINERAL CHAPEL
ATTACHED GARAGE

OWNER
WHITESIDE
924 WEST 40th
ELMA, WA 98541
PHONE: (360) 482 2032
FAX: (360) 482 2018

Date: 9/16/99
Scale: 1/4" = 1'-0"
Drawn: L.L.
Job: WHITESIDE
Sheet:
Of 7 Sheets

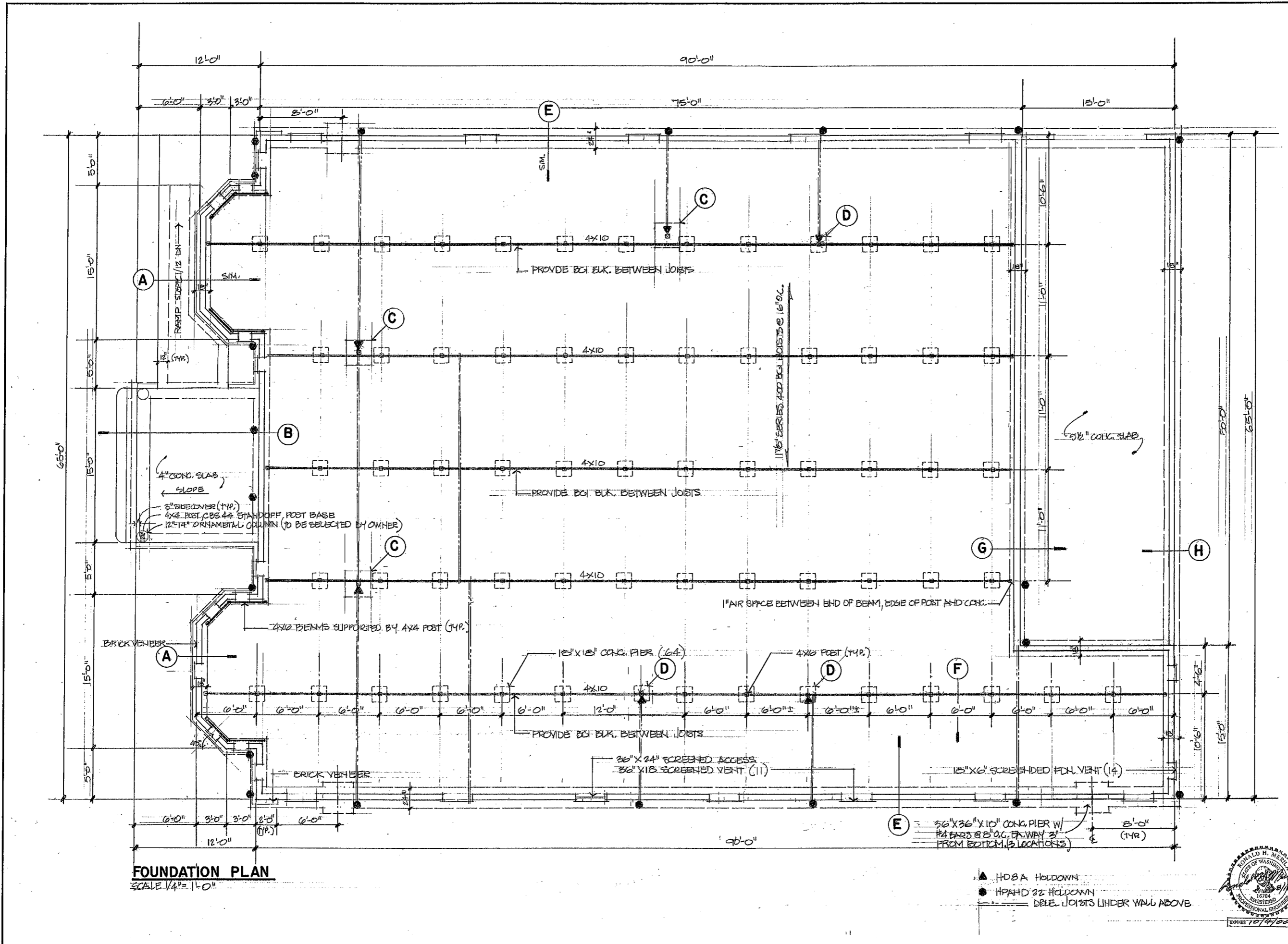
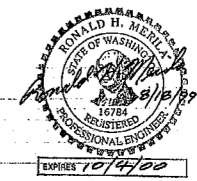
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FOUNDATION PLAN

PROJECT
COMMERCIAL FUNERAL CHAPEL
ATTACHED GARAGE

OWNER
WHITESIDE
324 WEST YOUNG
ELKINS, WA, 98541
PHONE: (360) 482-2032
FAX: (360) 482-2018

Date	9/16/99
Scale	1/4" = 1'-0"
Drawn	EL
Job	WHITESIDE
Sheet	3
Of	7 Sheets



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

- ▲ HDBA HOLDOWN
- HPAMD 22 HOLDOWN
- DELE JOISTS UNDER WALL ABOVE

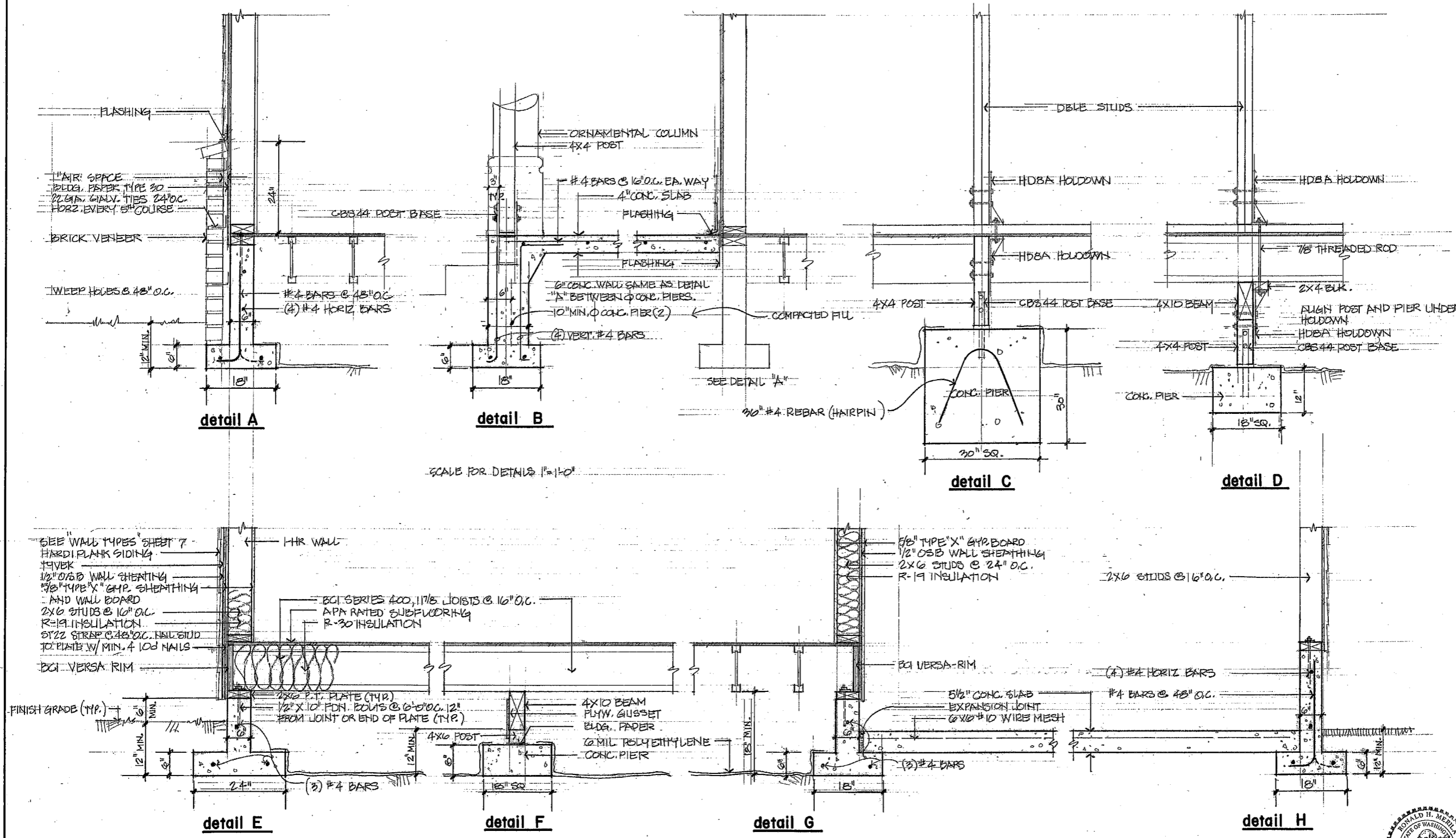
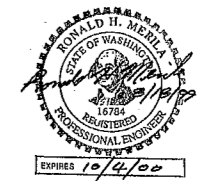
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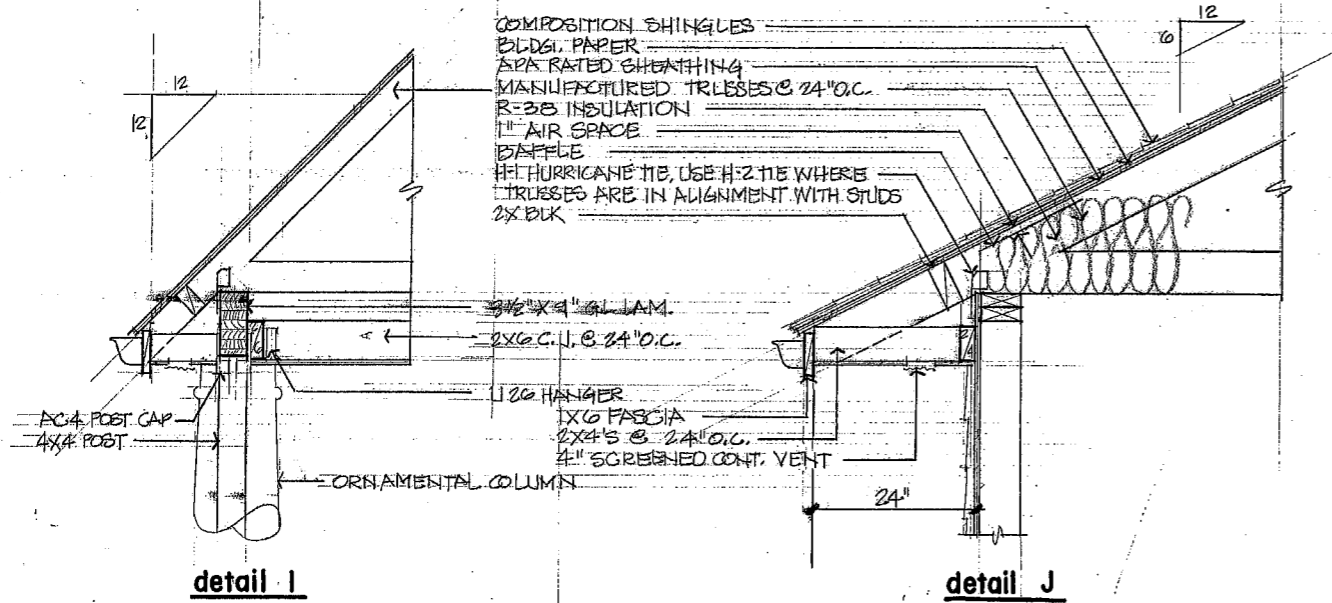
OWNER
WHITESIDE
324 WEST YOUNG
ELMA, WA 98541
PHONE: (509) 482-2032
FAX: (509) 482-2015

Date 9/16/99
Scale 1"=1'-0"
Drawn L.L.
Job WHITESIDE
Sheet
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of 7 Sheets



ROOF CONSTRUCTION NOTES

- 1. PROVIDE 2X6 BLOCKING BETWEEN TRUSSES AT RIDGE.
- 2. INSTALL CONTINUOUS RIDGE VENT.
- 3. EAST WALL: INSTALL 2X BLOCK OVER TOP OF WALL. EXTEND WALL SHEATHING AND 4/4 PD TO THE BOTTOM OF ROOF SHEATHING. NO PENETRATIONS IN FIRE WALL. INSTALL 5 SQ. FT. OF ROOF VENTS EQUALLY SPACED UP 5' FROM LOWER EDGE OF ROOF.
- 4. INSTALL METAL RIDGE TIE STRAPS @ 48" O.C. NAIL W/ MIN. (8) 10d NAILS



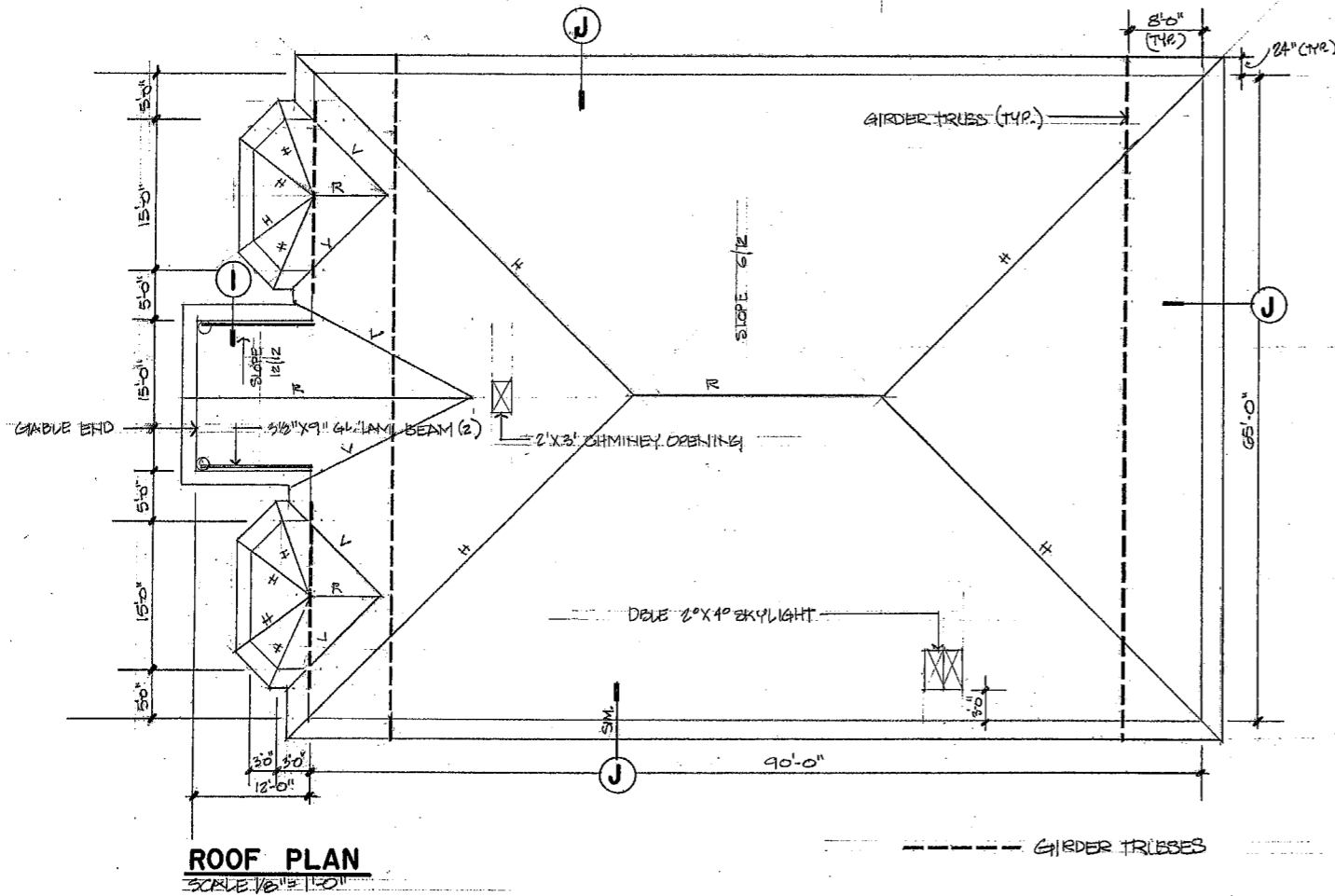
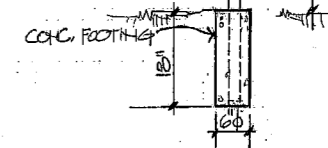
BARRIER FREE DESIGN NOTES

- 1. HARDWARE:
 - A. DOORS: LEVER OR OTHER SHAPE WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE, 36" ABOVE FLOOR.
 - B. FLUSH CONTROL FOR URINAL MAX. 44" ABOVE FLOOR
- 2. DRINKING FOUNTAIN:
 - A. SPOUT MAX. 36" ABOVE FLOOR
 - B. CONTROL SHALL BE 6" OR LESS FROM FRONT. LEVER TYPE.
- 3. SIGNAGE: PROVIDE INTERNATIONAL SYMBOL OF ACCESS SIGN AT ACCESSIBLE PARKING SPACE ADJACENT TO FRONT DOORS, ACCESSIBLE RESTROOMS, AND ENTRANCE TO CORRIDOR TO RESTROOMS. WHITE ON BLUE BACKGROUND.
- 4. DISPENSERS AND RECEPTACLES, MAX. 40" ABOVE FLOOR
- 5. EXPOSED PIPES UNDER SINKS SHALL BE INSULATED OR OTHERWISE COVERED.
- 6. FAUCET CONTROL FOR SINKS SHALL BE NOT MORE THAN 17" FROM FRONT OF SINK.
- 7. ILLUMINATION SHALL BE PROVIDED ALONG EXTERIOR ROUTE OF TRAVEL WITH NOT LESS THAN ONE FOOT CANDLE.

12" X 12" 18GA. GALV. PRINTED SIGN. STATE DISABLED PERMIT REQUIRED.

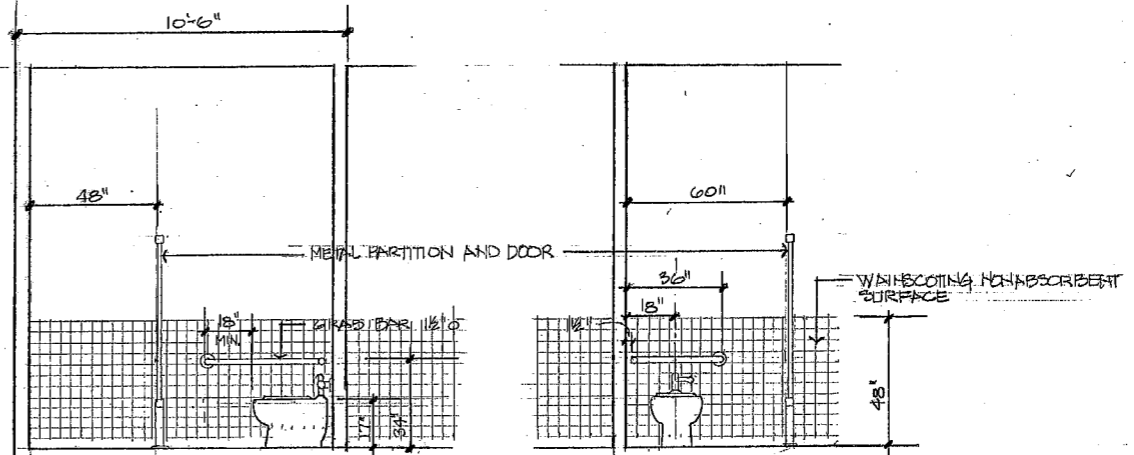
"VAN ACCESSIBLE" SIGN

2" φ GALV. STEEL PIPE



ROOF PLAN

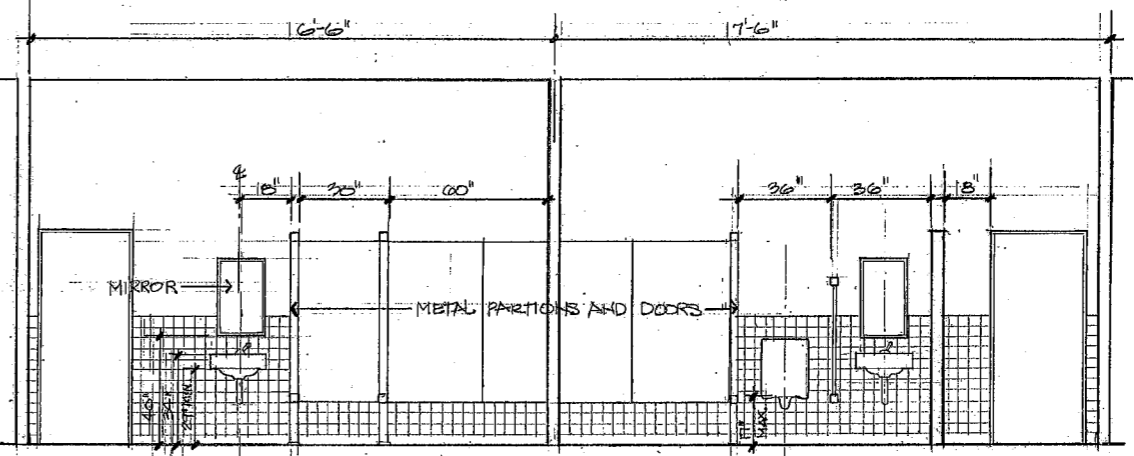
SCALE: 1/8" = 1'-0"



elevation A

elevation B

SCALE FOR ELEVATIONS 3/8" = 1'-0"



elevation C

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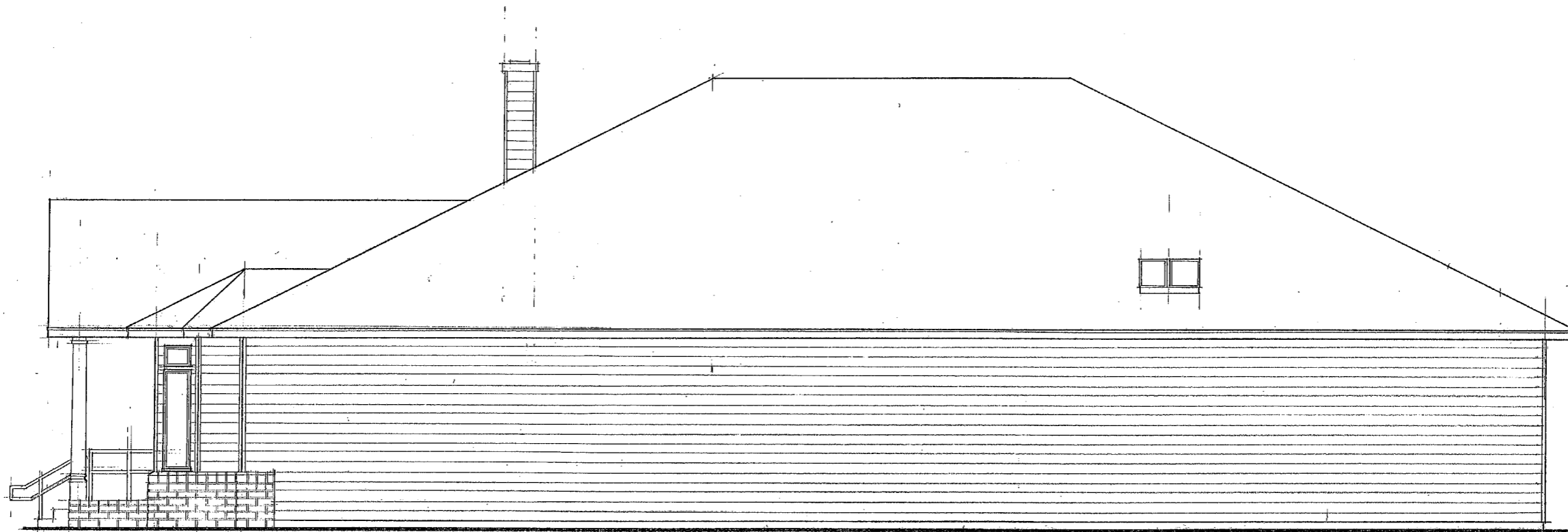
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ROOF FRAMING DETAILS
BARRIER FREE DESIGN NOTES
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ATTACHED GARAGE

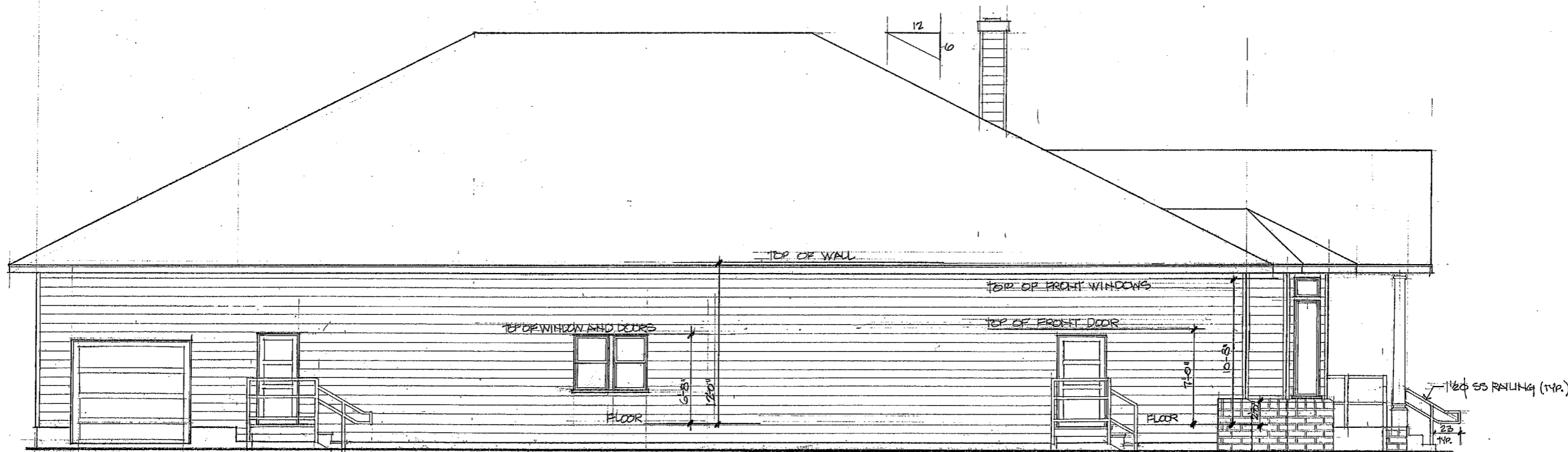
OWNER
WHITESIDE
224 WEST YOUNG
ELMA, WA 98524
PHONE (360) 482-2032
FAX (360) 482-2018



Date	9/16/99
Scale	AS SHOWN
Drawn by	
Job	WHITESIDE
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EAST ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

REVISIONS	BY

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EAST ELEVATION
WEST ELEVATION

PROJECT
COMMERCIAL
FUNERAL CHAPEL
ATTACHED GARAGE

OWNER
WHITESIDE
324 WEST 90TH
ELMA, WA 98524
PHONE (509) 482-2092
FAX (509) 482-2018

Date 9/16/99
Scale 1/4" = 1'-0"
Drawn L.L.
Job WHITESIDE
Sheet
6
Of 7 Sheets



door schedule

NO.	SIZE	INT.	EXT.	1-HR. FIRE RATED	BI-FOLDING	SELF CLOSER	METAL	GLASS PANEL	DBLE
1	30x60	0							
2	30x60	0						0	
3	50x60	0			0				
4	30x60	0				0			
5	30x	0					0		
6	30x	0					0		
7	30x60	0		0					0
8	30x60		0						
9	30x60		0						
10	30x70		0						0
11	30x60	0		0		0			

NOTE: SEE BARRIER FREE DESIGN NOTES FOR HARDWARE REQUIREMENTS

window schedule

NO.	SIZE	PICTURE	TRANSOM ABOVE	CASEMENT	DBLE	SINGLE HUNG
1	20x50	0	0			
2	20x50		0	0		
3	20x40				0	0
4	30x30	0			0	

WALL TYPES

- 1. GENERAL: ALL SHEATHING TO BE 7/16" APA RATED OSB. INSTALL TYVEK OVER EXTERIOR SHEATHING AND HARDI PLANK SIDING OVER TYVEK. EXCEPT FOR 1-HR FIRE WALLS, ALL INTERIOR WALL COVERINGS SHALL BE 1/2" GYP. BD. INSTALL FIRE BLOCK (2X4 OR 2X6) AT 0'-0" IN ALL WALLS.
- 2. 1-HR FIRE WALL. 5/8" GYP. BD TYPE "X" BOTH SIDES. 2X6 STUDS @ 16" O.C. R-19 INSULATION. NAIL SHEATHING W/ 3" NAILS @ 3" O.C. @ EDGES AND 6" O.C. @ FIELD.
- 3. 2X6 STUDS @ 16" O.C. NAIL SHEATHING W/ 3" NAILS @ 6" O.C. @ EDGES AND FIELD.
- 4. 1-HR FIRE WALL. 5/8" GYP. BD TYPE "X" BOTH SIDES. 2X6 STUDS @ 24" O.C. R-19 INSULATION. INSTALL SHEATHING UNDER GYP. BD. ON GARAGE SIDE OF STUDS. NAIL SHEATHING W/ 3" NAILS @ 4" O.C. @ EDGES AND 6" O.C. @ FIELD.
- 5. 2X6 STUDS @ 16" O.C. R-19 INSULATION. NAIL SHEATHING W/ 3" NAILS @ 3" O.C. @ EDGES AND 6" O.C. @ FIELD.
- 6. BRICK VENEER. 2X6 STUDS @ 16" O.C. R-19 INSULATION. NAIL SHEATHING W/ 3" NAILS @ 6" O.C. @ EDGES AND FIELD.
- 7. 2X4 STUDS @ 16" O.C. NAIL SHEATHING ON ONE SIDE W/ 3" NAILS @ 4" O.C. @ EDGES AND 6" O.C. @ FIELD.
- 8. 2X4 STUDS @ 16" O.C. NAIL SHEATHING ON BOTH SIDES, STAGGER JOISTS, W/ 3" NAILS @ 3" O.C. @ EDGES AND 6" O.C. @ FIELD.
- 9. 1-HR FIRE WALL. 5/8" GYP. BD. TYPE "X" BOTH SIDES. 2X4 STUDS @ 16" O.C.
- 10. 2X6 STUDS @ 24" O.C. R-19 INSULATION.
- 11. 2X6 STUDS @ 24" O.C.
- 12. 2X4 STUDS @ 16" O.C.

GENERAL CONSTRUCTION NOTES

- 1. ALL SPACES EXCEPT STORAGE ROOMS AND GARAGE SHALL BE PROVIDED WITH EMERGENCY LIGHTING.
- 2. INSTALL AUTOMATIC FIRE EXTINGUISHING SYSTEM. INSTALLER TO DESIGN AND BUILD.
- 3. INTERNALLY ILLUMINATED EXIT SIGN. SHALL HAVE TWO ELECTRIC LAMPS AND BATTERY BACKUP.
- 4. ALL DUCT PENETRATIONS THRU 1-HR OCCUPANCY SEPARATION WALLS AND CEILING SHALL HAVE FIRE DAMPERS.
- 5. GARAGE RAMP. MAX. SLOPE 1/4".
- 6. GAS FIREPLACE TO BE SELECTED BY OWNER. ENCLOSE METAL CHIMNEY AND EXTEND THRU ROOF AS SHOWN ON ELEVATION DRAWINGS.
- 7. ELECTRICAL CONTRACTOR TO COORDINATE LOCATION AND TYPE OF ELECTRICAL EQUIPMENT, TELEPHONE AND CABLEVISION OUTLETS WITH OWNER.

notes

1. WASHINGTON STATE VENTILATION AND INDOOR AIR QUALITY CODE:
 - A. MECHANICAL SYSTEM TO PROVIDE OUTDOOR AIR AS REQUIRED BY TABLE 3-4. SYSTEM TO BE DESIGNED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE OUTDOOR AIR TO ALL HABITABLE ROOMS. CALCULATIONS SHOWING COMPLIANCE SHALL BE SUBMITTED TO BUILDING DEPARTMENT BY MECHANICAL CONTRACTOR.
 - B. SOURCE SPECIFIC VENTILATION SYSTEM. SEE FLOOR PLANS FOR SIZE AND LOCATION OF EXHAUST FANS. FANS ARE INTERMITTENTLY OPERATED.
 - C. EXHAUST DUCTS SHALL HAVE BACK-DRAFT DAMPERS AND BE INSULATED TO R-4 IN NON-HEATED SPACES.
2. ENERGY CODE:
 - A. PROJECT IS DESIGNED TO COMPLY WITH 1997 WASHINGTON STATE NON-RESIDENTIAL ENERGY CODE TABLE 13-1.
 - B. HEATING SYSTEM: HEAT PUMP, SIMPLE SYSTEM, SHALL HAVE HEATING AND COOLING CONTROLS WHICH COMPLY WITH SECTION 14-12.4 AND 14.22, AND AIR ECONOMIZER.
 - C. LEVELS OF INSULATION: FLOOR R-30; WALL R-19; CEILING R-30;
 - D. WINDOWS "U" .40 OR LESS; SKYLIGHTS "U" .68 OR LESS; EXTERIOR DOORS "U" .40 OR LESS.
 - E. INSULATION: FIBERGLASS WITH VAPOR BARRIER FACED STAPLED. USE NON-FACED IN FLOOR. LOOSE INSULATION MAY BE USED IN ATTIC SPACES WITH 1 PERM PAINT APPLIED TO FINISH CEILINGS.
 - F. SEAL AROUND ALL PIPE, OUTLETS, WINDOW, DOOR, DUCT, AND OTHER PENETRATIONS THROUGH WALLS, FLOOR, AND CEILINGS WHICH SEPARATE HEATED FROM NON-HEATED SPACES.
 - G. INSULATE HEAT DUCTS IN CRAWL AND ATTIC SPACES TO R-8.
 - H. ALLOWABLE WINDOW AREA 20%. PROPOSED 5%.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH 1997 UNIFORM BUILDING, MECHANICAL AND PLUMBING CODES.
4. DESIGN LOADS:

ROOF: 25LL, 10DL FLOOR: 50LL, 15DL, CONCENTRATED "O", WIND: 80MPH, EXP, C
SEISMIC: ZONE 3 SOIL: 2000 PSF
5. FOUNDATION:
 - A. ALL FOOTINGS SHALL BE POURED ON UNDISTURBED SOIL.
 - B. CONCRETE: fc 2500 @ 28 DAYS.
 - C. REINFORCING: GRADE 40.
 - D. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
6. FLASHING: 26 GA. GALV.
7. INSTALL BCI JOISTS AS PER MANUFACTURER'S SPECIFICATIONS.
8. ALL NAILS USED AT EXTERIOR LOCATIONS SHALL BE GALV.
9. LUMBER: HEM FIR #2 OR BETTER. GLUED LAMINATED BEAMS 24-F-V3.
10. ALL CONNECTORS SHALL BE "SIMPSON STRONG TIE" PRODUCTS AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
11. HANDRAILS: 34" ABOVE NOSING OF STAIR TREADS. GUARDRAILS: WHERE GUARDRAILS ARE MORE THAN 30" ABOVE GRADE OR FLOOR, THEY SHALL BE 42" HIGH WITH MAX. OPENINGS OF 4". UNLESS OTHERWISE NOTED STAIRS ARE DESIGNED FOR 11" RUN ± AND 7" RISE ±.
12. UNLESS OTHERWISE NOTED ALL HEADERS IN BEARING WALLS SHALL BE 4x10'S.
13. TYPICAL INTERIOR WALL: UNLESS OTHERWISE NOTED ALL INTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C. WITH 1/2" GYP. BD. ON BOTH SIDES.
14. BUILDER TO PROVIDE ENGINEERED TRUSS DRAWINGS TO BUILDING DEPARTMENT. TRUSSES SHALL NOT BE INSTALLED UNTIL BUILDING DEPARTMENT HAS APPROVED TRUSS DRAWINGS. IF GIRDER TRUSS(ES) IS NOT LOCATED AS SHOWN ON DRAWINGS, CONTACT DESIGNER TO DETERMINE IF ADDITIONAL SUPPORT(S) IS NEEDED.
15. BUILDER TO COORDINATE LOCATION OF ELECTRICAL SERVICE WITH OWNER.
16. TO ENSURE ACCURACY OF DRAWINGS, IT IS THE RESPONSIBILITY OF THE BUILDERS TO CHECK AND VERIFY ALL DIMENSIONS.

LIGHTING BUDGET: BASED ON TABLE 13-1

SPACE	SQ. FT.	X FACTOR	= WATTS
OFFICE	1341	1.20	1609
CHAPEL	1944	1.0	1944
STORAGE GARAGE	975	.50	487
COMMON, RESTROOMS	1332	.80	1241
TOTALS	6012		5521
EXTERIOR PARKING	7275	.20	1455
BLDG. PERIMETER	325 LN. FT	7.5	2437
TOTALS			3892



REVISIONS

NO.	DATE	DESCRIPTION	BY

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- WINDOW SCHEDULE
- WALL TYPES
- CONSTRUCTION NOTES

PROJECT

- COMMERCIAL
- FUNERAL CHAPEL
- ATTACHED GARAGE

OWNER

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ELMA, WA 99541
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Date 9/16/99

Scale

Drawn L.L.

Job WHITESIDE

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Of 7 Sheets