

Olympic Stadium Repairs & Improvements - Phase 3

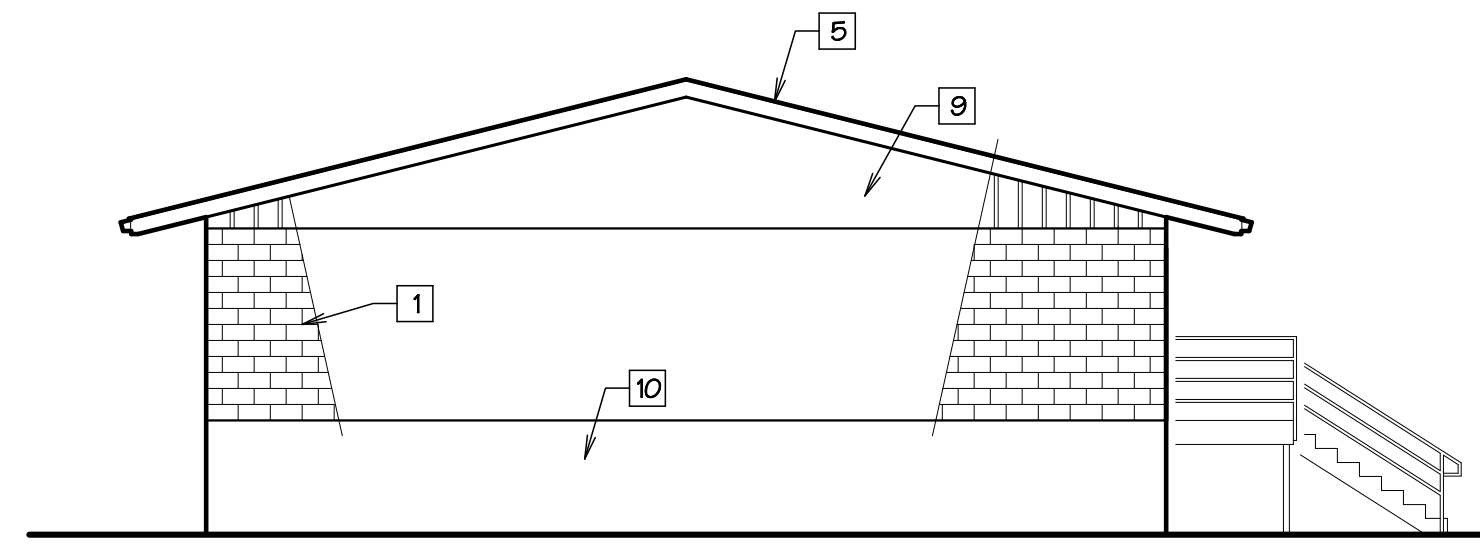
City of Hoquiam

Hoquiam, Washington

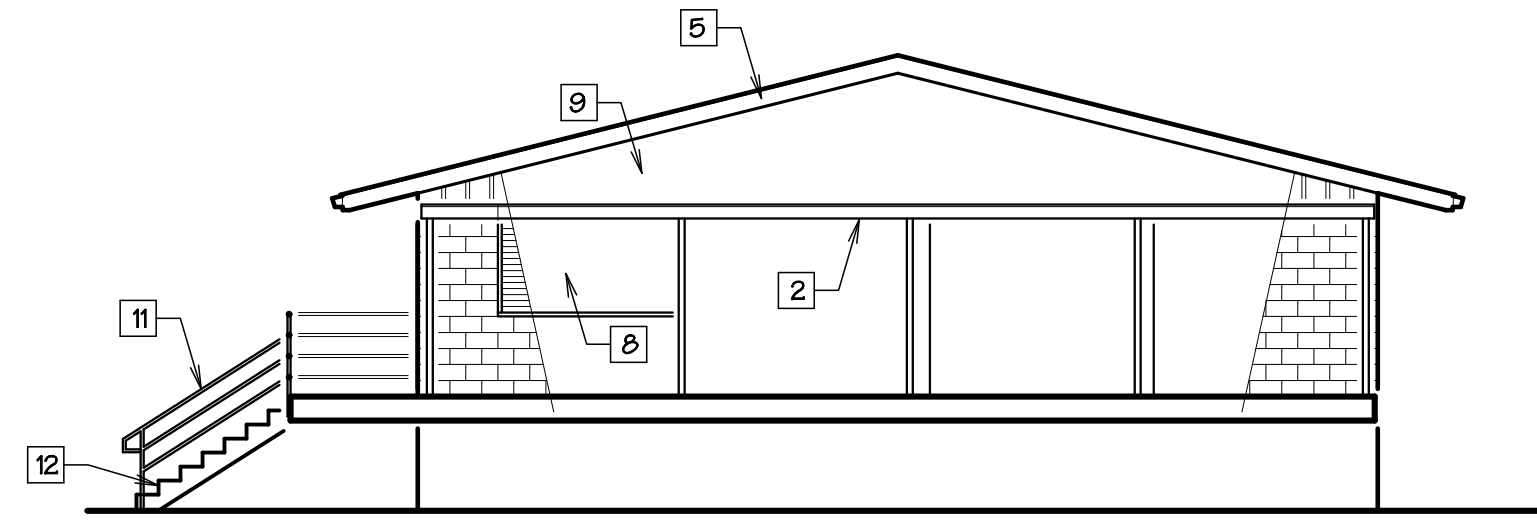
Olympic Stadium Repairs & Improvements - Phase 3
 City of Hoquiam
 Hoquiam, Washington

Harbor Architects LLC

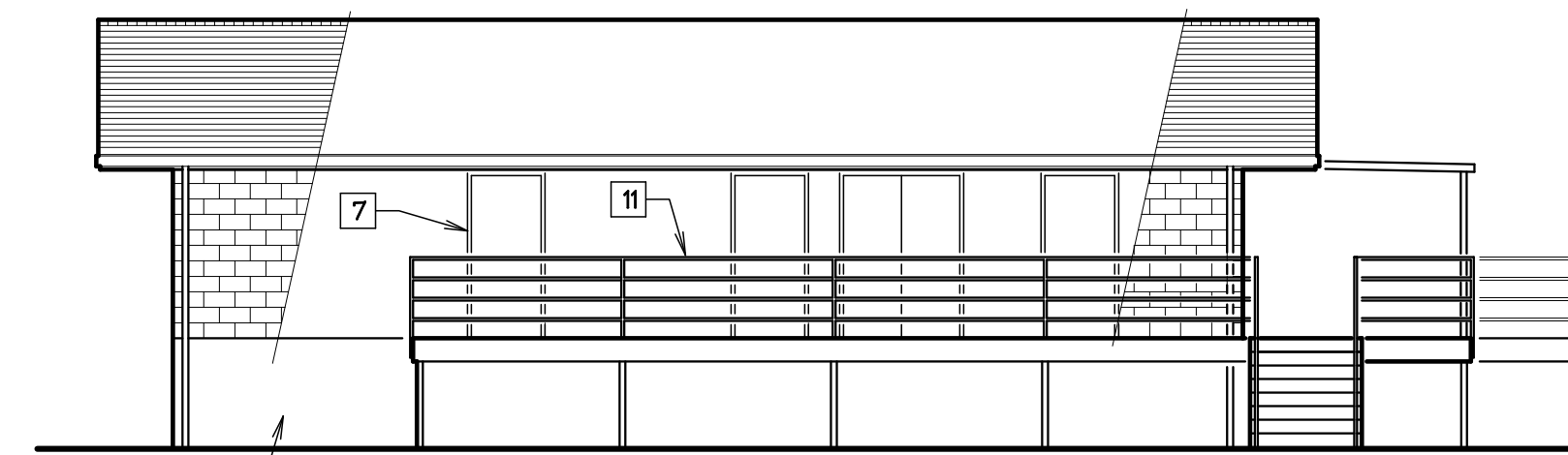
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 345 West Wishkah Street
 Aberdeen WA 98520
 Phone 360-532-0980
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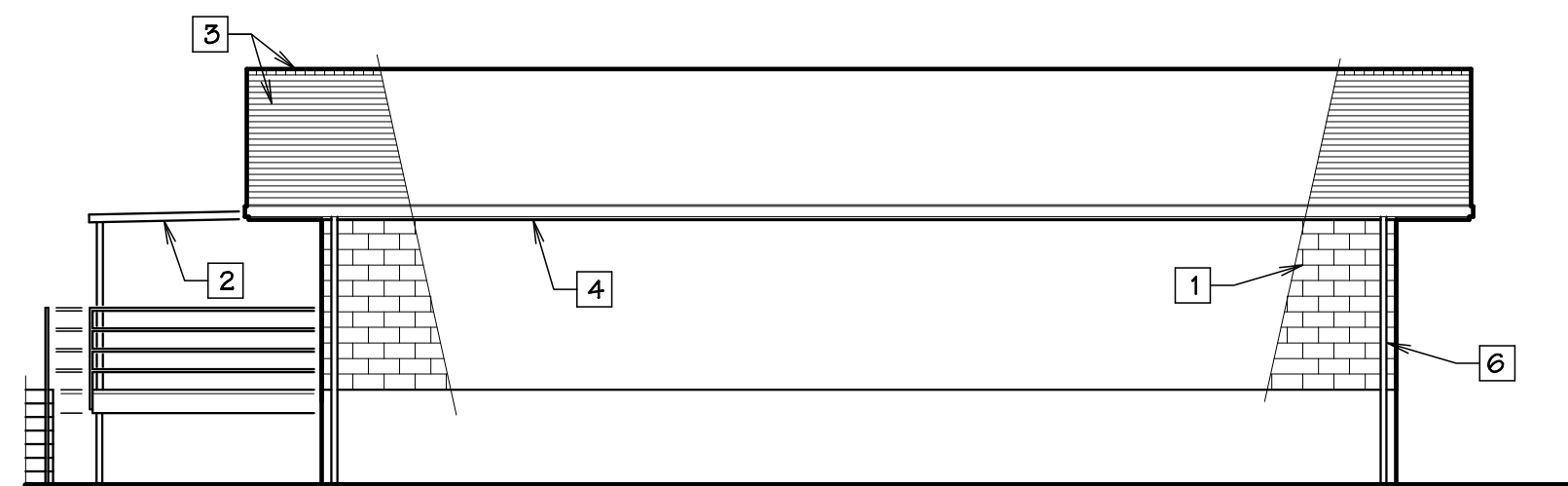
EAST ELEVATION - BLDG B
 1/8" = 1' - 0"



WEST ELEVATION - BLDG B
 1/8" = 1' - 0"



NORTH ELEVATION - BLDG B
 1/8" = 1' - 0"



SOUTH ELEVATION - BLDG B 1/8" = 1' - 0"
 0 10 20 40

ELEVATION NOTES

- 1 EXISTING CMU WALL. PAINT AS SPECIFIED
- 2 EXISTING METAL ROOF PANELS AND SHEATHING TO BE REMOVED, TYPICAL
- 3 NEW ASPHALT SHINGLE ROOF ASSEMBLY - (6) NAIL & HANDSEAL, TYPICAL. PROVIDE RIDGE VENT, TYP.
- 4 NEW GUTTER & EAVE BOARD, TYPICAL. MATCH EXISTING. PAINT AS SPECIFIED
- 5 NEW RAKE BOARD, TYPICAL. MATCH EXISTING. PAINT AS SPECIFIED
- 6 NEW PVC DOWNSPOUT, TYPICAL. PAINT AS SPECIFIED.
- 7 EXISTING METAL DOOR & FRAME, TYPICAL. PAINT AS SPECIFIED
- 8 EXISTING ROLLING COUNTER DOOR.
- 9 EXISTING METAL SIDING, TYPICAL. PAINT AS SPECIFIED
- 10 EXISTING CONCRETE WALL, TYPICAL. PAINT AS SPECIFIED
- 11 EXISTING STEEL PIPE GUARDRAIL/HANDRAIL TYPICAL
- 12 EXISTING STAIR, TYPICAL.

GENERAL NOTES

- 1 REMOVE & DISPOSE OF ALL DEBRIS OFFSITE, TYPICAL.
- 2 SEE SHEET A210 FOR SIMILAR ROOF STRUCTURAL CALLOUTS.
- 3 SEE PAINT SCHEDULE IN SPECIFICATIONS

PROJECT INFORMATION

PROPERTY DESCRIPTION
 LEGAL DESCRIPTION: HEERMANS ANNEX LOTS 1-5 & 1/2 VAC 29TH ST ADJ BLK 72, HEERMANS ANNEX LOTS 1-5 & 1/2 VAC 29TH ST ADJ BLK 73, HOQ AC TAX 2
 PARCEL NUMBER: 052207200000, 052207300000, 517090721004
 SITE ADDRESS: 2811 CHERRY ST

FEMA FLOOD ZONE: AE
 THIS BUILDING IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.

BUILDING CODE INFORMATION
 THE FOLLOWING INTERNATIONAL BUILDING CODE (IBC) 2018 & INTERNATIONAL FIRE CODE (IFC) 2018 SHALL BE THE BASIS FOR DESIGN:

OCCUPANCY: EXISTING: A-5 ASSEMBLY GROUP
 AUTO. SPRINKLER SYSTEM: YES - EXISTING
 FIRE ALARM SYSTEM: NO
 CONSTRUCTION TYPE: V-B STRUCTURAL ELEMENTS, EXT. WALLS & INT. WALLS MAY BE OF ANY MATERIALS PERMITTED BY THIS CODE
 FIRE-RESISTANCE RATING:
 STRUCTURAL FRAME: 0 HOUR
 BEARING WALLS - INT: 0 HOUR
 BEARING WALLS - EXT: 0 HOUR
 NONBEAR. WALLS - INT: 0 HOUR
 NONBEAR. WALLS - EXT: 0 HOUR
 FLOOR CONSTRUCTION: 0 HOUR
 ROOF CONSTRUCTION: 0 HOUR

MISCELLANEOUS INFORMATION

EXISTING CONDITIONS
 THE DRAWINGS CONTAIN REFERENCE TO EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS. SUBMITTING A BID SHALL INDICATE THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS & WILLINGNESS TO PROVIDE LABOR, MATERIALS & EQUIPMENT NECESSARY TO COMPLETE THE WORK INTENDED BY THE CONTRACT DRAWINGS.

GENERAL NOTES
 THESE GENERAL NOTES ARE TO BE USED AS A SUPPLEMENT TO THE SPECIFICATIONS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, SPECIFICATIONS, THESE GENERAL NOTES & SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.
 CONTRACTORS SHALL REVIEW THE DRAWINGS & SPECIFICATIONS PRIOR TO THE PRE-BID WALK THROUGH. ANY QUESTIONS ASKED AT THE PRE-BID WALK THROUGH WILL BE DOCUMENTED & ANSWERED AS REQ'D. SEE SPECIFICATIONS SECTION 00 11 IS, ADVERTISEMENT FOR BIDS.
 STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, JOBSITE SAFETY, ERECTION MEANS, METHODS, AND SEQUENCES, TEMPORARY SHORING, FORMWORK AND BRACING, USE OF EQUIPMENT AND CONSTRUCTION PROCEDURES.
 CONSTRUCTION OBSERVATION BY THE ARCHITECT AND STRUCTURAL ENGINEER IS FOR CONFORMANCE WITH DESIGN ASPECTS ONLY AND IS NOT INTENDED IN ANY WAY TO REVIEW THE CONTRACTOR'S CONSTRUCTION PROCEDURES.

CONTACT INFORMATION

OWNER: CITY OF HOQUIAM
 BRIAN SHAY, CITY ADMINISTRATOR
 609 8th STREET
 HOQUIAM, WA 98550
 (360) 538-3883
ARCHITECT OF RECORD: HARBOR ARCHITECTS LLC
 ALAN GOZART AIA, PROJECT ARCHITECT
 AARON GOZART, PROJECT MANAGER
 345 W WISHKAH STREET
 ABERDEEN, WA 98520
 (360) 532-0980
STRUCTURAL ENGINEER: PCS STRUCTURAL SOLUTIONS
 JACK PINKARD, SE, PE
 1250 PACIFIC AVE, SUITE 701
 TACOMA, WA 98402
 (253) 363-2737

DRAWING INDEX

- A001 ABBREV., PROJ. INFOR., CONTACT INFO., DRAWING INDEX, AREA SITE MAP, BLDG. ELEV.
- A100 SITE PLAN, ENLARGED PLANS & NOTES
- A210 FLOOR & ROOF PLANS, BLDG SECTION, EXTERIOR ELEVATIONS, DETAILS & NOTES

SYMBOL LEGEND

	SHEAR WALL IDENTIFICATION		EQUIPMENT IDENTIFICATION
	WALL TYPE IDENTIFICATION		GRID IDENTIFICATION
	ROOM IDENTIFICATION		REVISION IDENTIFICATION
	WINDOW IDENTIFICATION		CROSS BRACING IDENTIFICATION
	DOOR IDENTIFICATION		PORTAL FRAME IDENTIFICATION
	ELEVATION IDENTIFICATION		HOLDOWN IDENTIFICATION
	DETAIL IDENTIFICATION		SPOT ELEVATION IDENTIFICATION
	SECTION IDENTIFICATION		



VICINITY PLAN
 NO SCALE



PERMIT SET

REVISIONS		
no	date	by
-	-	-

3399 REGISTERED ARCHITECT

 ALAN E. GOZART
 STATE OF WASHINGTON

project number 22-06
 date 3.30.2023
 file name 2206 A001
 drawn by ACG
 checked by AEG
 owner approval _____
 title _____

Abbreviations,
 Project Info.,
 Contact Info.,
 Drawing Index,
 Vicinity Plan &
 Exterior Elev.

A001