

# Olympic Stadium Repairs & Improvements - Phase 3

## City of Hoquiam

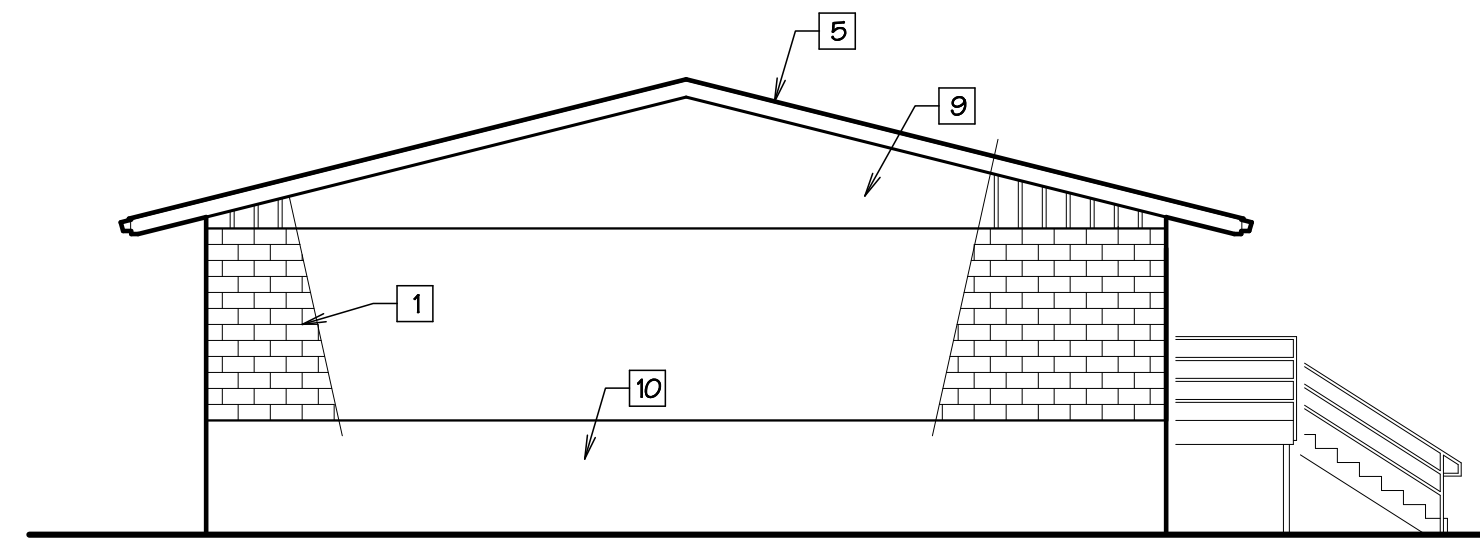
### Hoquiam, Washington

Olympic Stadium Repairs & Improvements - Phase 3  
 City of Hoquiam  
 Hoquiam, Washington

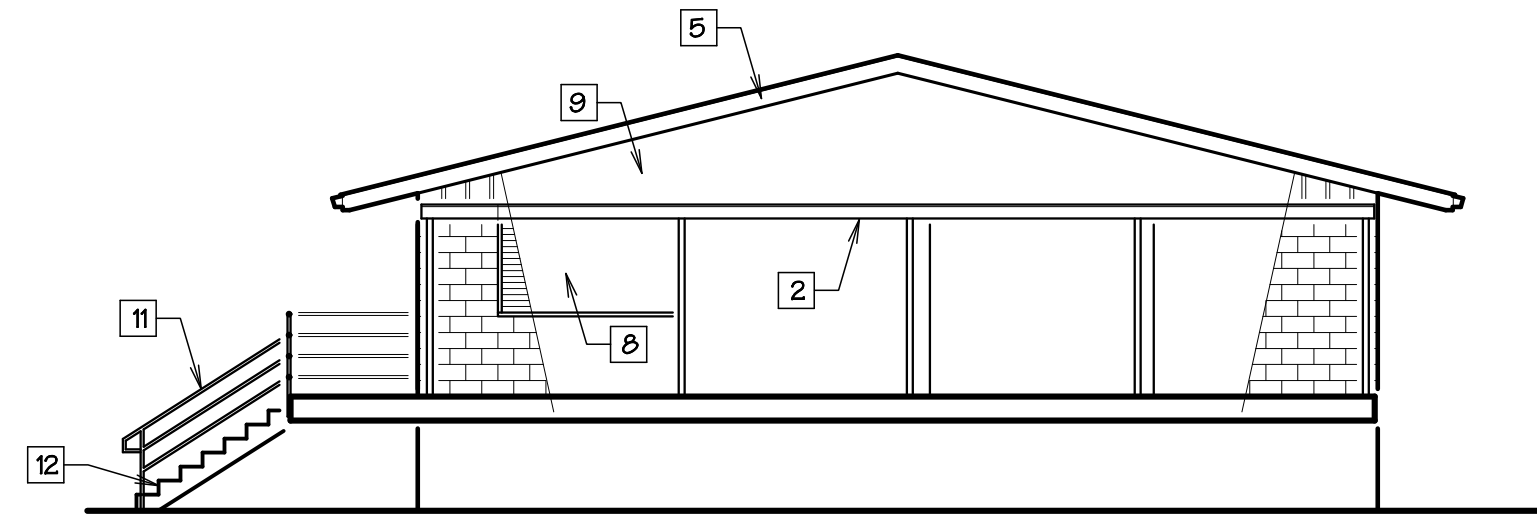
Harbor Architects LLC

Harbor Place  
 345 West Wishkah Street  
 Aberdeen WA 98520  
 Phone 360-532-0980  
 harborarchitects.com

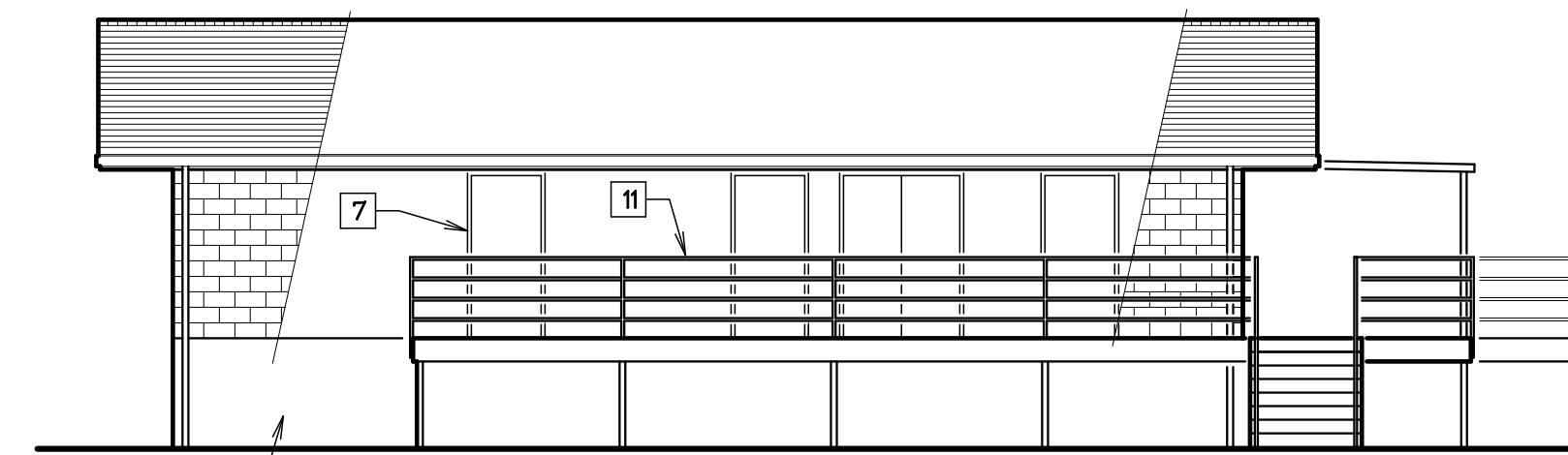
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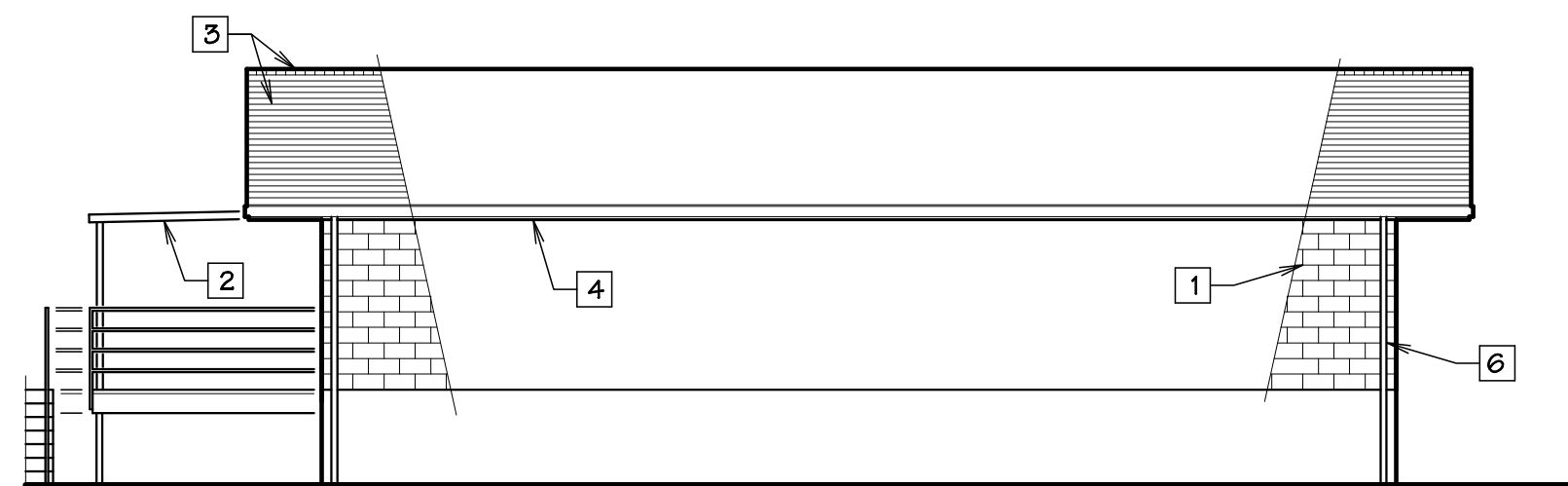
**EAST ELEVATION - BLDG B**  
 1/8" = 1' - 0"



**WEST ELEVATION - BLDG B**  
 1/8" = 1' - 0"



**NORTH ELEVATION - BLDG B**  
 1/8" = 1' - 0"



**SOUTH ELEVATION - BLDG B** 1/8" = 1' - 0"  
 0 10 20 40

**ELEVATION NOTES**

- 1 EXISTING CMU WALL. PAINT AS SPECIFIED
- 2 EXISTING METAL ROOF PANELS AND SHEATHING TO BE REMOVED, TYPICAL
- 3 NEW ASPHALT SHINGLE ROOF ASSEMBLY - (6) NAIL & HANDSEAL, TYPICAL. PROVIDE RIDGE VENT, TYP.
- 4 NEW GUTTER & EAVE BOARD, TYPICAL. MATCH EXISTING. PAINT AS SPECIFIED
- 5 NEW RAKE BOARD, TYPICAL. MATCH EXISTING. PAINT AS SPECIFIED
- 6 NEW PVC DOWNSPOUT, TYPICAL. PAINT AS SPECIFIED.
- 7 EXISTING METAL DOOR & FRAME, TYPICAL. PAINT AS SPECIFIED
- 8 EXISTING ROLLING COUNTER DOOR.
- 9 EXISTING METAL SIDING, TYPICAL. PAINT AS SPECIFIED
- 10 EXISTING CONCRETE WALL, TYPICAL. PAINT AS SPECIFIED
- 11 EXISTING STEEL PIPE GUARDRAIL/HANDRAIL TYPICAL
- 12 EXISTING STAIR, TYPICAL.

**GENERAL NOTES**

- 1 REMOVE & DISPOSE OF ALL DEBRIS OFFSITE, TYPICAL.
- 2 SEE SHEET A210 FOR SIMILAR ROOF STRUCTURAL CALLOUTS.
- 3 SEE PAINT SCHEDULE IN SPECIFICATIONS

**PROJECT INFORMATION**

**PROPERTY DESCRIPTION**  
 LEGAL DESCRIPTION: HEERMANS ANNEX LOTS 1-5 & 1/2 VAC 29TH ST ADJ BLK 72, HEERMANS ANNEX LOTS 1-5 & 1/2 VAC 29TH ST ADJ BLK 73, HOQ AC TAX 2  
 PARCEL NUMBER: 052207200000, 052207300000, 517090721004  
 SITE ADDRESS: 2811 CHERRY ST

FEMA FLOOD ZONE: AE  
 THIS BUILDING IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.

**BUILDING CODE INFORMATION**  
 THE FOLLOWING INTERNATIONAL BUILDING CODE (IBC) 2018 & INTERNATIONAL FIRE CODE (IFC) 2018 SHALL BE THE BASIS FOR DESIGN:

OCCUPANCY: EXISTING: A-5 ASSEMBLY GROUP  
 AUTO. SPRINKLER SYSTEM: YES - EXISTING  
 FIRE ALARM SYSTEM: NO  
 CONSTRUCTION TYPE: V-B STRUCTURAL ELEMENTS, EXT. WALLS & INT. WALLS MAY BE OF ANY MATERIALS PERMITTED BY THIS CODE  
 FIRE-RESISTANCE RATING:  
 STRUCTURAL FRAME: 0 HOUR  
 BEARING WALLS - INT: 0 HOUR  
 BEARING WALLS - EXT: 0 HOUR  
 NONBEAR. WALLS - INT: 0 HOUR  
 NONBEAR. WALLS - EXT: 0 HOUR  
 FLOOR CONSTRUCTION: 0 HOUR  
 ROOF CONSTRUCTION: 0 HOUR

**MISCELLANEOUS INFORMATION**

**EXISTING CONDITIONS**  
 THE DRAWINGS CONTAIN REFERENCE TO EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS. SUBMITTING A BID SHALL INDICATE THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS & WILLINGNESS TO PROVIDE LABOR, MATERIALS & EQUIPMENT NECESSARY TO COMPLETE THE WORK INTENDED BY THE CONTRACT DRAWINGS.

**GENERAL NOTES**  
 THESE GENERAL NOTES ARE TO BE USED AS A SUPPLEMENT TO THE SPECIFICATIONS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, SPECIFICATIONS, THESE GENERAL NOTES & SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.  
 CONTRACTORS SHALL REVIEW THE DRAWINGS & SPECIFICATIONS PRIOR TO THE PRE-BID WALK THROUGH. ANY QUESTIONS ASKED AT THE PRE-BID WALK THROUGH WILL BE DOCUMENTED & ANSWERED AS REQ'D. SEE SPECIFICATIONS SECTION 00 11 IS, ADVERTISEMENT FOR BIDS.  
 STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, JOBSITE SAFETY, ERECTION MEANS, METHODS, AND SEQUENCES, TEMPORARY SHORING, FORMWORK AND BRACING, USE OF EQUIPMENT AND CONSTRUCTION PROCEDURES.  
 CONSTRUCTION OBSERVATION BY THE ARCHITECT AND STRUCTURAL ENGINEER IS FOR CONFORMANCE WITH DESIGN ASPECTS ONLY AND IS NOT INTENDED IN ANY WAY TO REVIEW THE CONTRACTOR'S CONSTRUCTION PROCEDURES.

**CONTACT INFORMATION**

**OWNER:** CITY OF HOQUIAM  
 BRIAN SHAY, CITY ADMINISTRATOR  
 609 8th STREET  
 HOQUIAM, WA 98550  
 (360) 538-3883  
**ARCHITECT OF RECORD:** HARBOR ARCHITECTS LLC  
 ALAN GOZART AIA, PROJECT ARCHITECT  
 AARON GOZART, PROJECT MANAGER  
 345 W WISHKAH STREET  
 ABERDEEN, WA 98520  
 (360) 532-0980  
**STRUCTURAL ENGINEER:** PCS STRUCTURAL SOLUTIONS  
 JACK PINKARD, SE, PE  
 1250 PACIFIC AVE, SUITE 701  
 TACOMA, WA 98402  
 (253) 363-2797

**DRAWING INDEX**

- A001 ABBREV., PROJ. INFOR., CONTACT INFO., DRAWING INDEX, AREA SITE MAP, BLDG. ELEV.
- A100 SITE PLAN, ENLARGED PLANS & NOTES
- A210 FLOOR & ROOF PLANS, BLDG SECTION, EXTERIOR ELEVATIONS, DETAILS & NOTES

**SYMBOL LEGEND**

	SHEAR WALL IDENTIFICATION		EQUIPMENT IDENTIFICATION
	WALL TYPE IDENTIFICATION		GRID IDENTIFICATION
	ROOM IDENTIFICATION		REVISION IDENTIFICATION
	WINDOW IDENTIFICATION		CROSS BRACING IDENTIFICATION
	DOOR IDENTIFICATION		PORTAL FRAME IDENTIFICATION
	ELEVATION IDENTIFICATION		HOLDOWN IDENTIFICATION
	DETAIL IDENTIFICATION		SPOT ELEVATION IDENTIFICATION
	SECTION IDENTIFICATION		



VICINITY PLAN  
 NO SCALE



**PERMIT SET**

REVISIONS		
no	date	by
-	-	-

3399 REGISTERED ARCHITECT  
  
 ALAN E. GOZART  
 STATE OF WASHINGTON

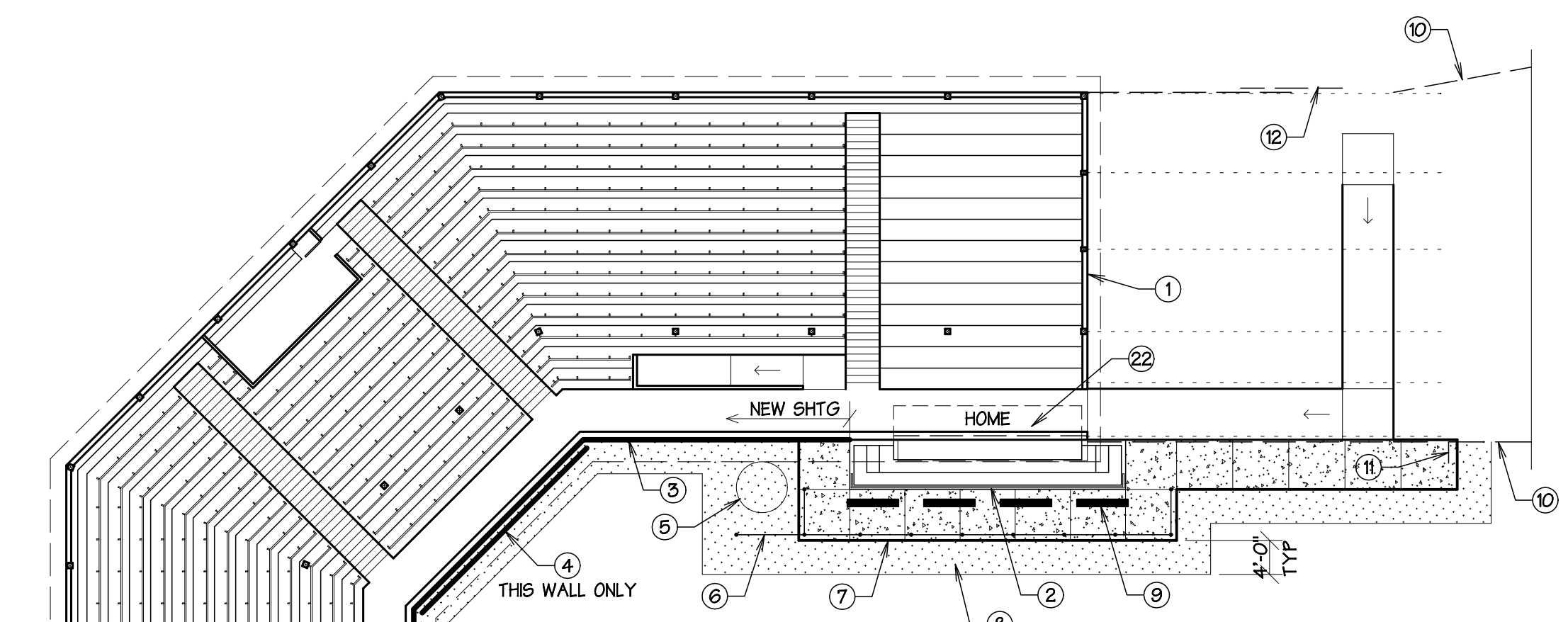
project number 22-06  
 date 3.30.2023  
 file name 2206 A001  
 drawn by ACG  
 checked by AEG  
 owner approval \_\_\_\_\_  
 title \_\_\_\_\_

Abbreviations,  
 Project Info.,  
 Contact Info.,  
 Drawing Index,  
 Vicinity Plan &  
 Exterior Elev.

**A001**

SITE PLAN NOTES

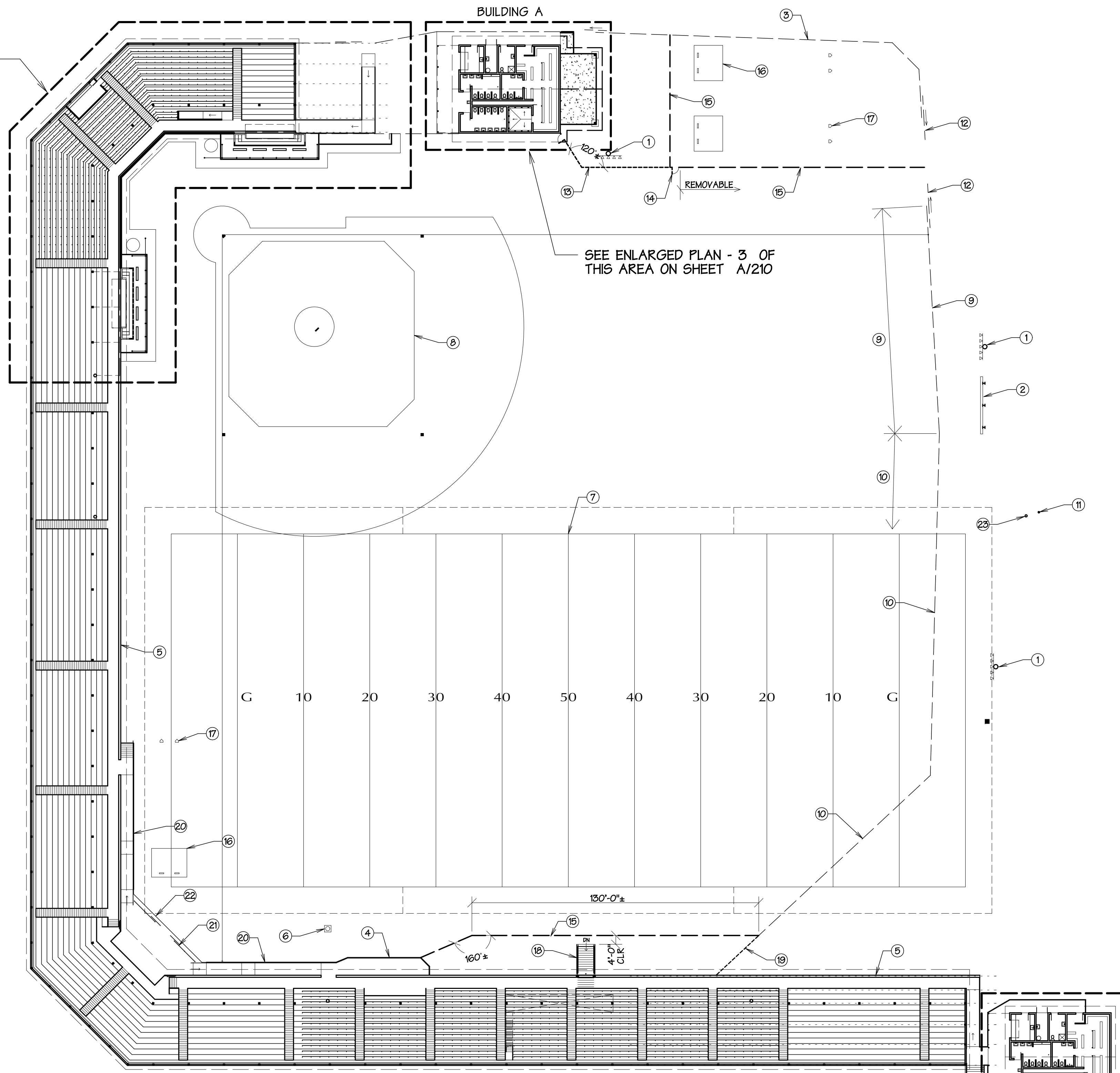
- ① EXISTING FIELD LIGHTING, TYPICAL.
- ② EXISTING BASEBALL SCOREBOARD.
- ③ EXISTING CHAIN LINK FENCE.
- ④ EXISTING ADA ACCESSIBLE SEATING PLATFORM.
- ⑤ EXISTING GRANDSTAND STRUCTURE, TYPICAL.
- ⑥ EXISTING LOCATION OF "LOGGERS PLAYDAY" SPAR SLEEVE.
- ⑦ EXISTING FOOTBALL FIELD LINES, TYPICAL.
- ⑧ EXISTING BASEBALL DIAMOND LAYOUT, TYPICAL.
- ⑨ EXISTING CHAIN LINK FENCE. REMOVE FABRIC & REINSTALL FABRIC ON FIELD SIDE OF FENCE.
- ⑩ EXISTING REMOVABLE OUTFIELD FENCING, POSTS & EMBEDDED SLEEVES.
- ⑪ EXISTING FIRE HYDRANT.
- ⑫ EXISTING CHAIN LINK SLIDING GATE. REMOVE GATE ASSEMBLY & RE-INSTALL ON OTHER SIDE OF EXISTING FENCE SO IT IS FACING AWAY FROM THE FIELD SIDE OF THE FENCE.
- ⑬ EXISTING CHAIN LINK FENCING & SLIDING GATES.
- ⑭ NEW PERMANENT CHAIN LINK FENCE - MATCH EXISTING TYPICAL.
- ⑮ NEW PERMANENT 3'-0" WIDE CHAIN LINK FENCE GATE.
- ⑯ NEW REMOVABLE CHAIN LINK FENCING, POSTS & EMBEDDED SLEEVES - MATCH EXISTING, TYPICAL.
- ⑰ NEW PORTABLE BULLPEN PITCHING MOUND, TYPICAL - BY OTHERS.
- ⑱ NEW PORTABLE BULLPEN HOME PLATE, TYPICAL - BY OTHERS.
- ⑲ EXISTING STAIRWAY STRUCTURE TO HOME FOOTBALL LOCKER ROOM.
- ⑳ REMOVE EXIST. OUTFIELD FENCING, POSTS & FDN. FILL HOLES AS REQ'D.
- ㉑ EXISTING RAMP & RAILING TO FIELD LEVEL.
- ㉒ EXISTING FLAG POLE.
- ㉓ EDGE OF EXISTING CONCRETE SLAB.
- ㉔ EXISTING CHAIN LINK FENCING & SLIDING GATES.
- ㉕ EXISTING CHAIN LINK FENCING & SLIDING GATES.
- ㉖ EXISTING CHAIN LINK FENCING & SLIDING GATES.
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- ㊾ EXISTING CHAIN LINK FENCING & SLIDING GATES.
- ㊿ EXISTING CHAIN LINK FENCING & SLIDING GATES.



SEE ENLARGED PLAN - 1 OF THIS AREA ON THIS SHEET

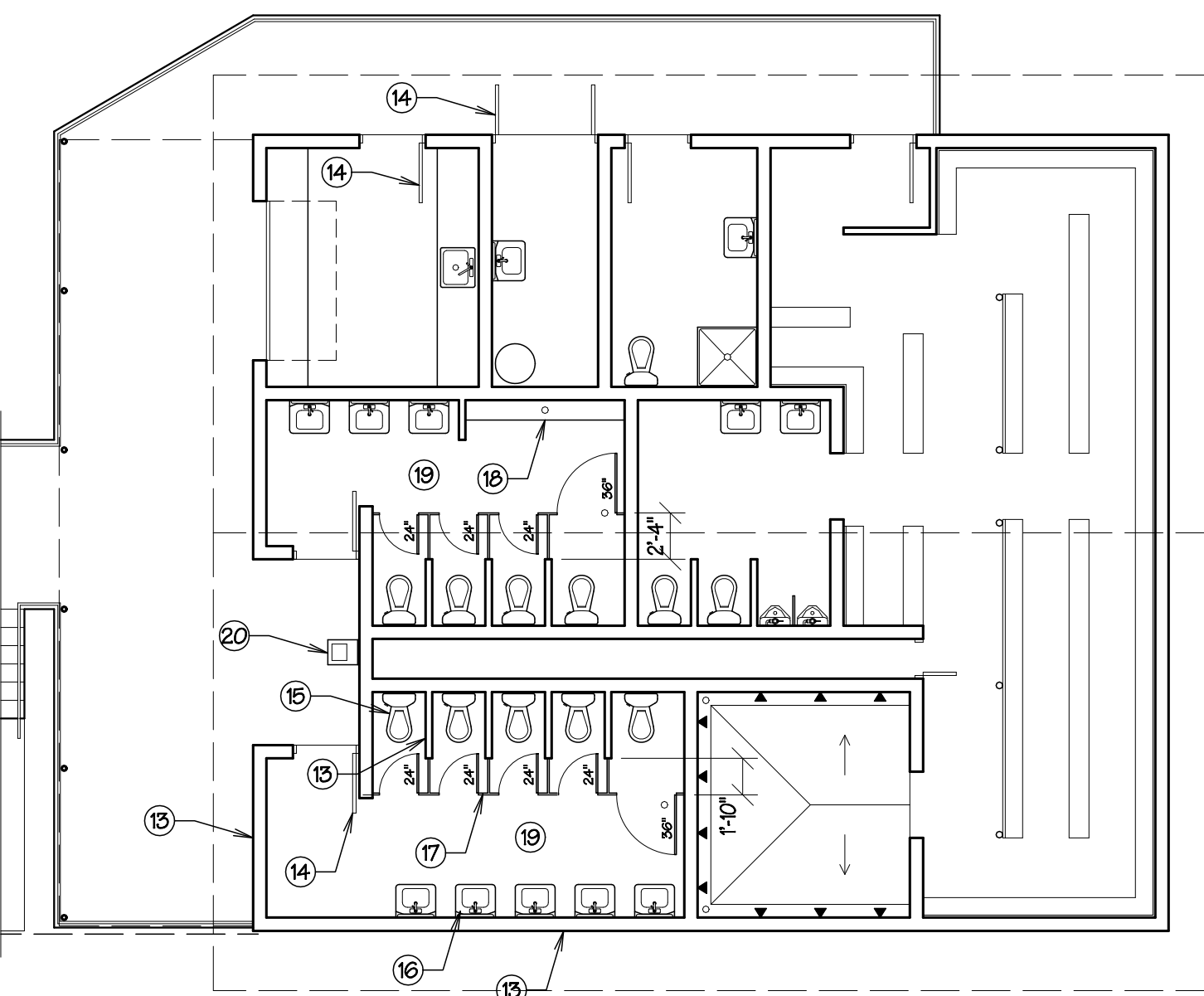
PLAN NOTES

- ① EXISTING GRANDSTAND STRUCTURE, TYPICAL.
- ② EXISTING RECESSED CONCRETE DUGOUT STRUCTURE & ASSOCIATED GRADE SLAB, TYP. REMOVE EXISTING METAL FENCING - CUT FLUSH, GRIND SMOOTH & FILL CAVITY W/ GROUT, TYP.
- ③ REMOVE EXISTING BACKSTOP PLYWOOD BETWEEN EXISTING DUGOUTS & DISPOSE ALL DEBRIS OFF SITE. PROVIDE NEW PAINTED PLWD TO MATCH. REPAIR ANY SUPPORTING FRAMING & PROVIDE BKG FOR BACKSTOP PAD ASSEMBLY AS REQ'D. MATCH EXIST. RECESSED BAT HOLDERS, TYPICAL.
- ④ NEW BACKSTOP PADDING ASSEMBLY - REMOVABLE.
- ⑤ NEW ON-DECK PAD BY OWNER.
- ⑥ NEW 6'-0" TALL CHAIN LINK FENCE W/ TOP & BOTTOM RAILS, TYPICAL.
- ⑦ NEW 4" CONCRETE SLAB W/ 8" x 6" THICKENED EDGE, TYPICAL. SEE BLDG SECTION 1/A210. PROVIDE #3 BAR @ 24" O.C. EACH WAY. PROVIDE #3 BAR DOWELS 24" O.C. FROM NEW CONCRETE TO EXISTING DUGOUT CONCRETE - EMBED 4" MIN & EPOXY, TYP. NOTE CONTROL JOINT LAYOUT. PROVIDE 5/8" MINUS GRAVEL & COMPACT UNDER SLAB AS REQ'D, TYP.
- ⑧ NEW WARNING TRACK MIX, TYPICAL.
- ⑨ NEW 6'-0" LONG ALUMINUM BENCH, TYPICAL. BOLT BENCH TO NEW CONCRETE, TYPICAL.
- ⑩ EXISTING CHAIN LINK FENCE.
- ⑪ EXISTING CHAIN LINK FENCE SWING GATE.
- ⑫ EXISTING CHAIN LINK FENCE SLIDING GATE.
- ⑬ EXISTING CMU WALL, TYPICAL.
- ⑭ EXISTING METAL DOOR & FRAME, TYPICAL.
- ⑮ EXISTING TOILET, TYPICAL.
- ⑯ EXISTING SINK, TYPICAL.
- ⑰ PROVIDE NEW TOILET PARTITIONS, TYPICAL. REMOVE EXISTING PARTITIONS. NOTE DOOR SIZES SHOWN ON PLAN.
- ⑱ EXISTING TROUGH URINAL.
- ⑲ REMOVE EXISTING VCT FLOOR TILE & GRIND AND/OR SAND CONCRETE SUBSTRATE AS REQUIRED TO PREP FOR NEW CONCRETE SEALER.
- ⑳ EXISTING DRINKING FOUNTAIN.
- ㉑ EXIST. SPRINKLER HEAD APPROX. LOCATION. SEE OWNER FOR NEW LOCATION.
- ㉒ PAINT RECESSED AREA OF DUGOUT TO MATCH EXISTING, TYP.



SEE ENLARGED PLAN - 3 OF THIS AREA ON SHEET A/210

ENLARGED PLAN - 1  
1/16" = 1'-0"  
0 13-4 26-8 53-4



BLDG B FLR PLAN - 2  
1/8" = 1'-0"  
0 6-8 13-4 26-8

PLAN 1 - SITE  
1" = 30'  
0 25 50 100

SEE ENLARGED PLAN - 2 OF THIS AREA ON THIS SHEET

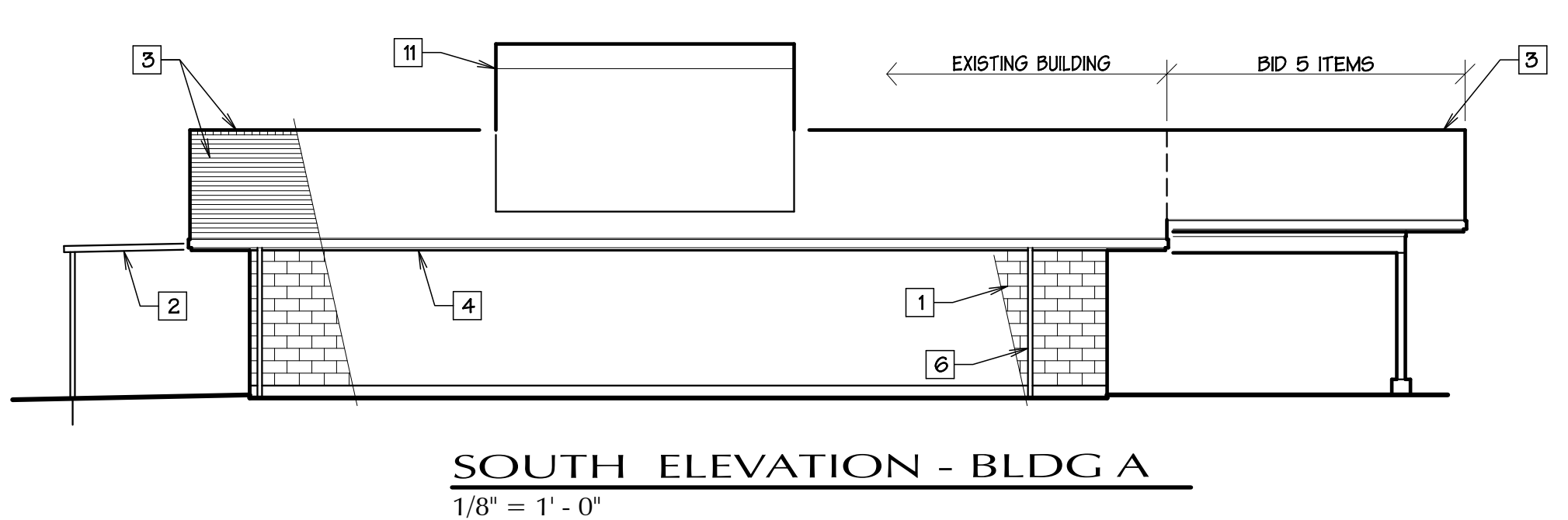
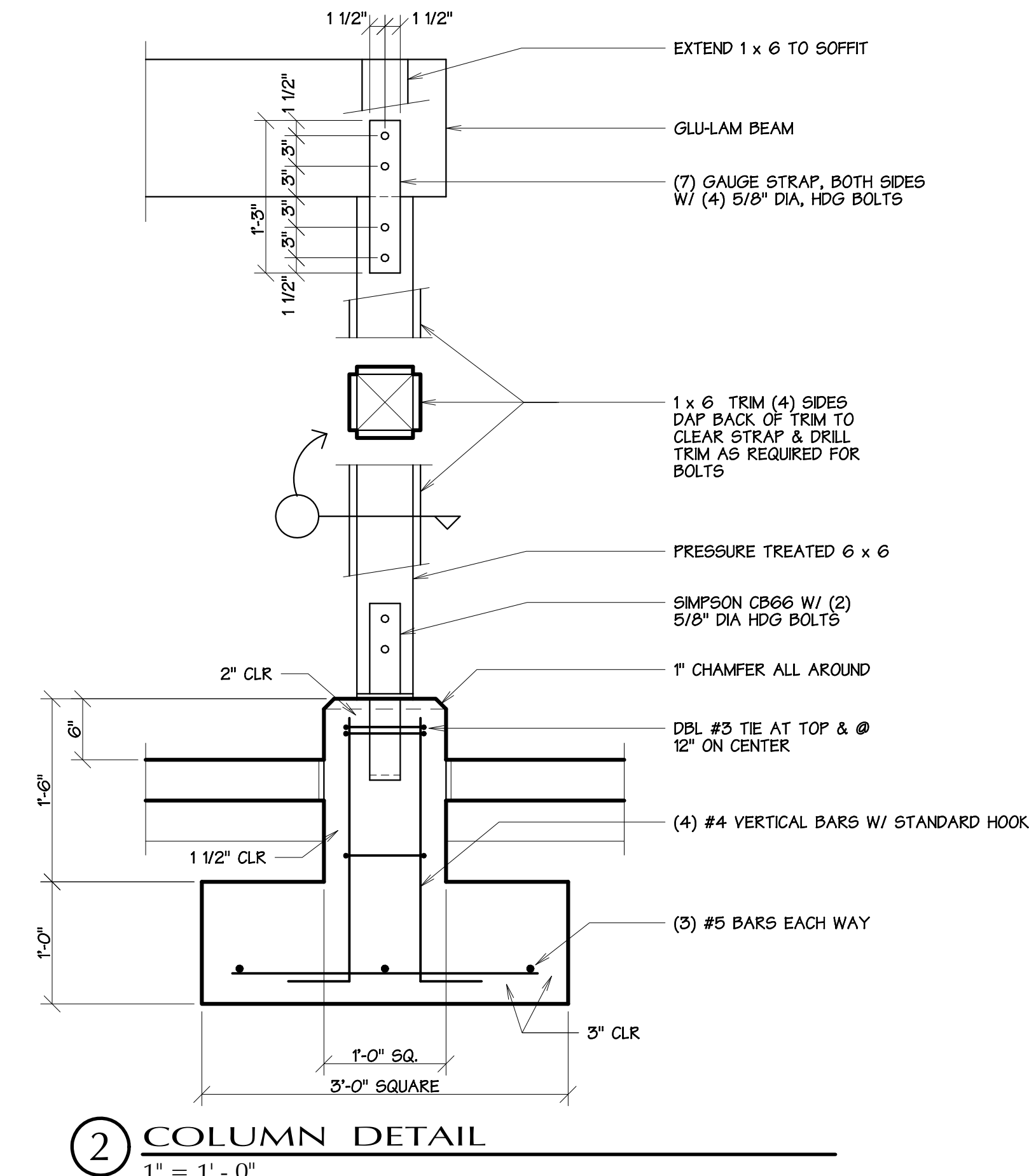
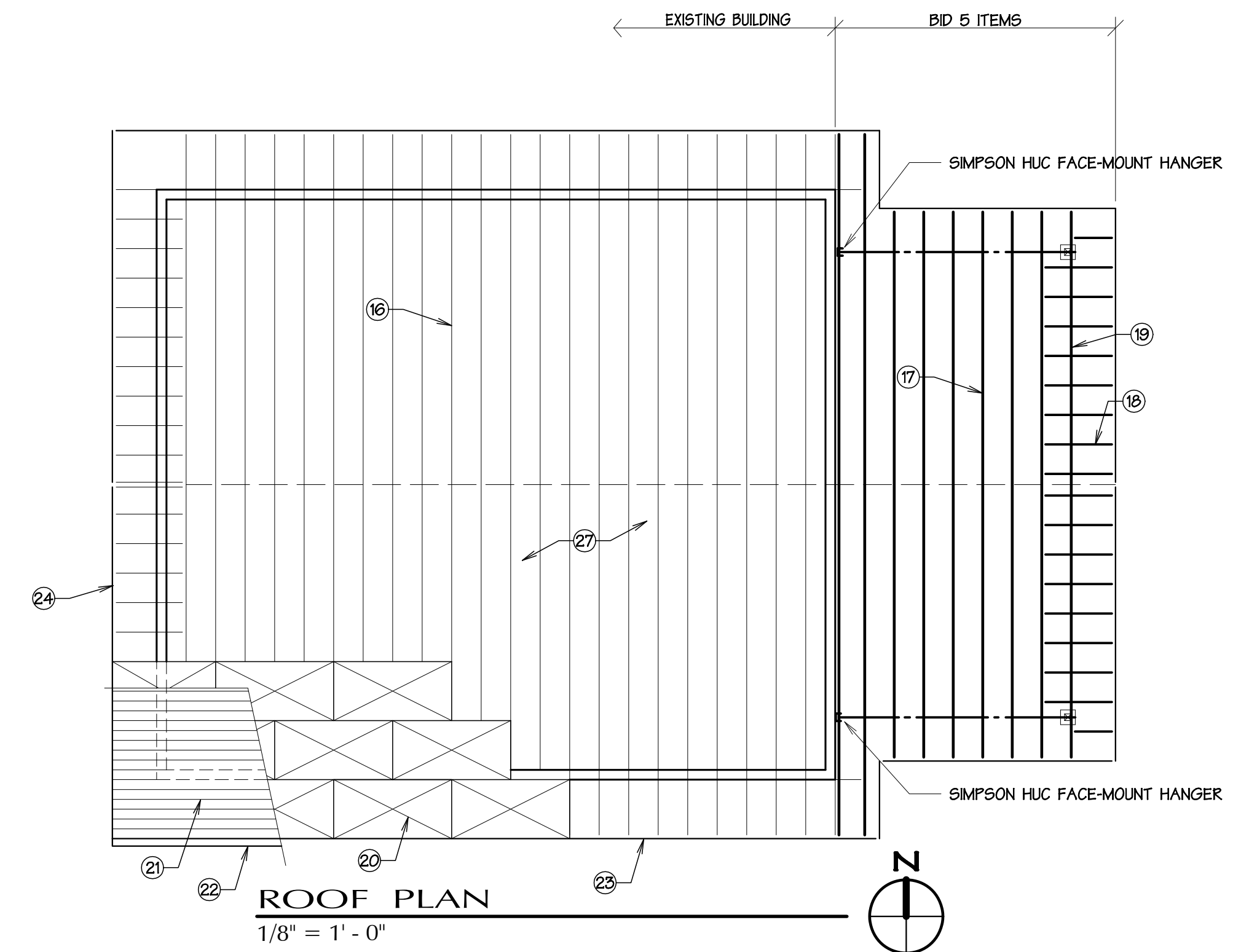
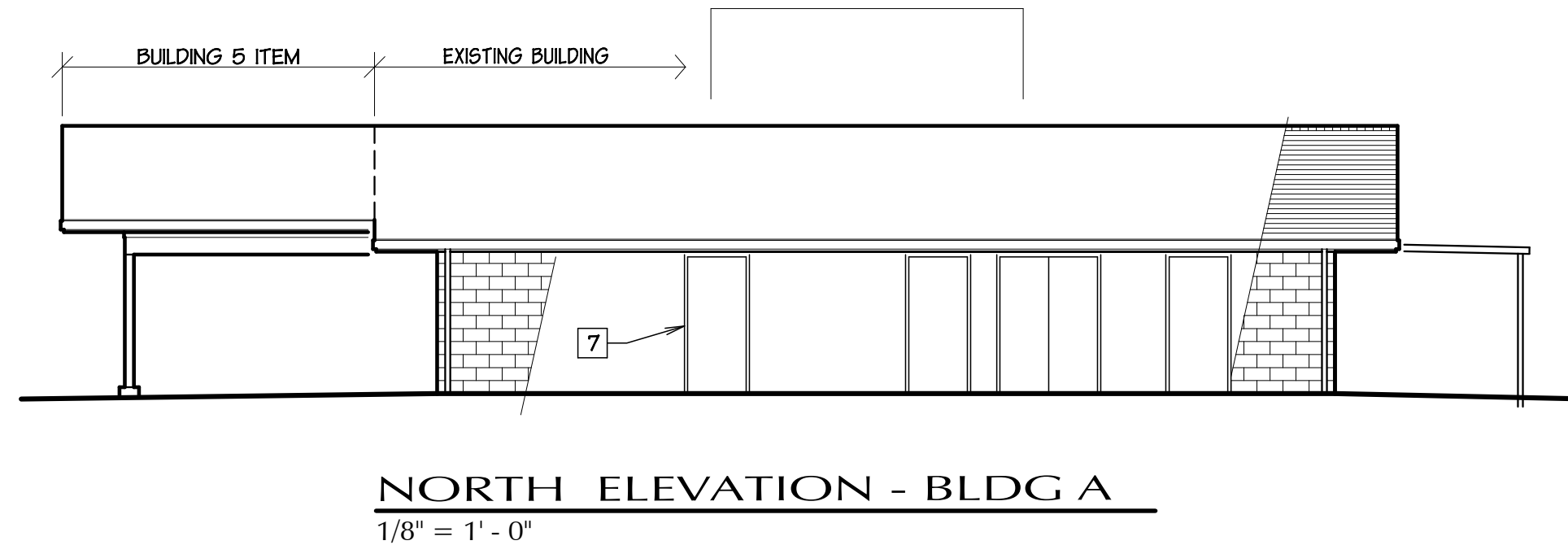
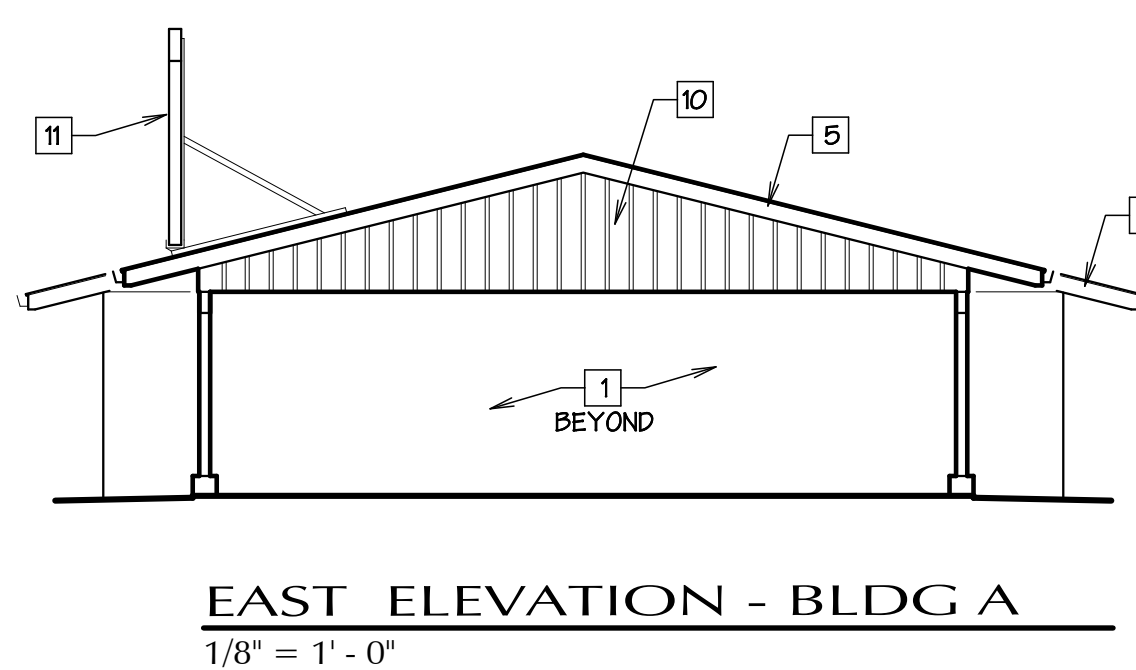
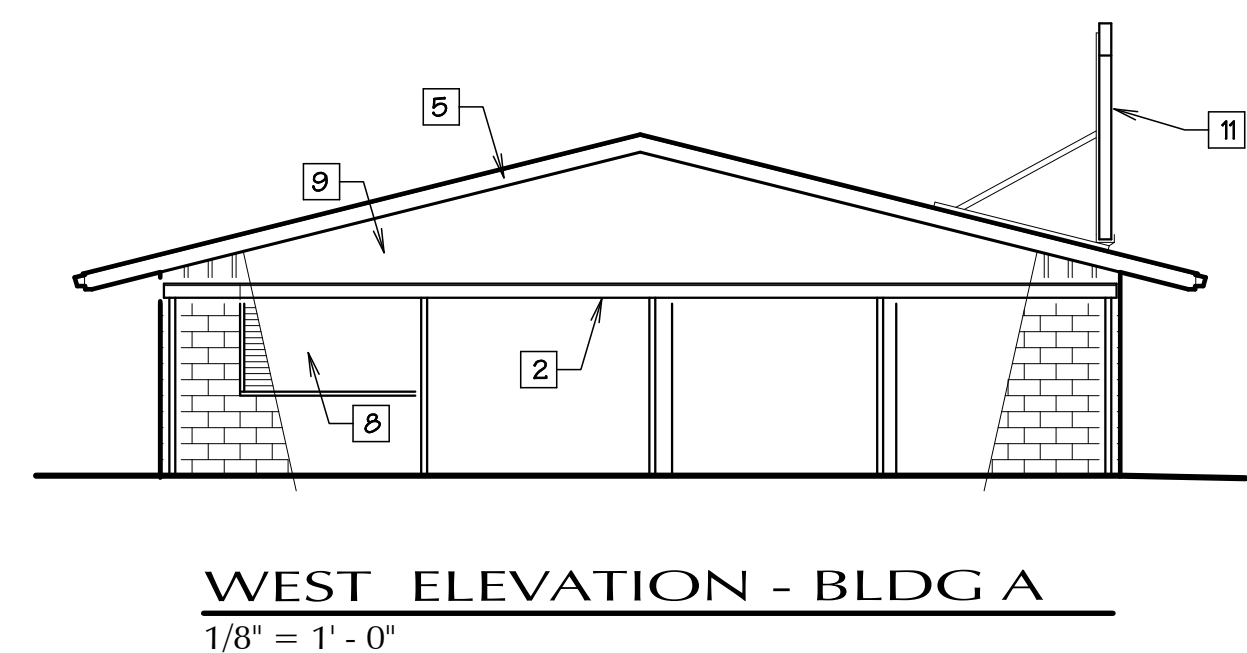
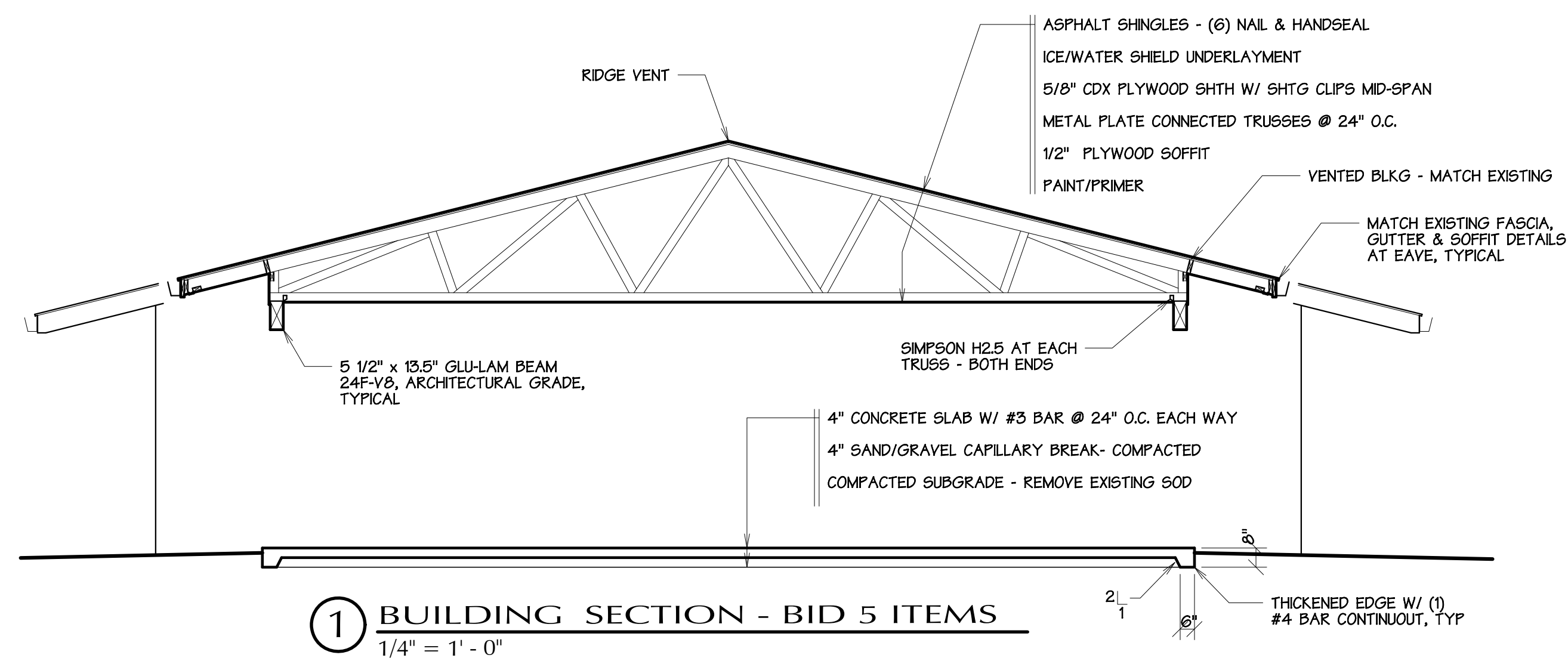
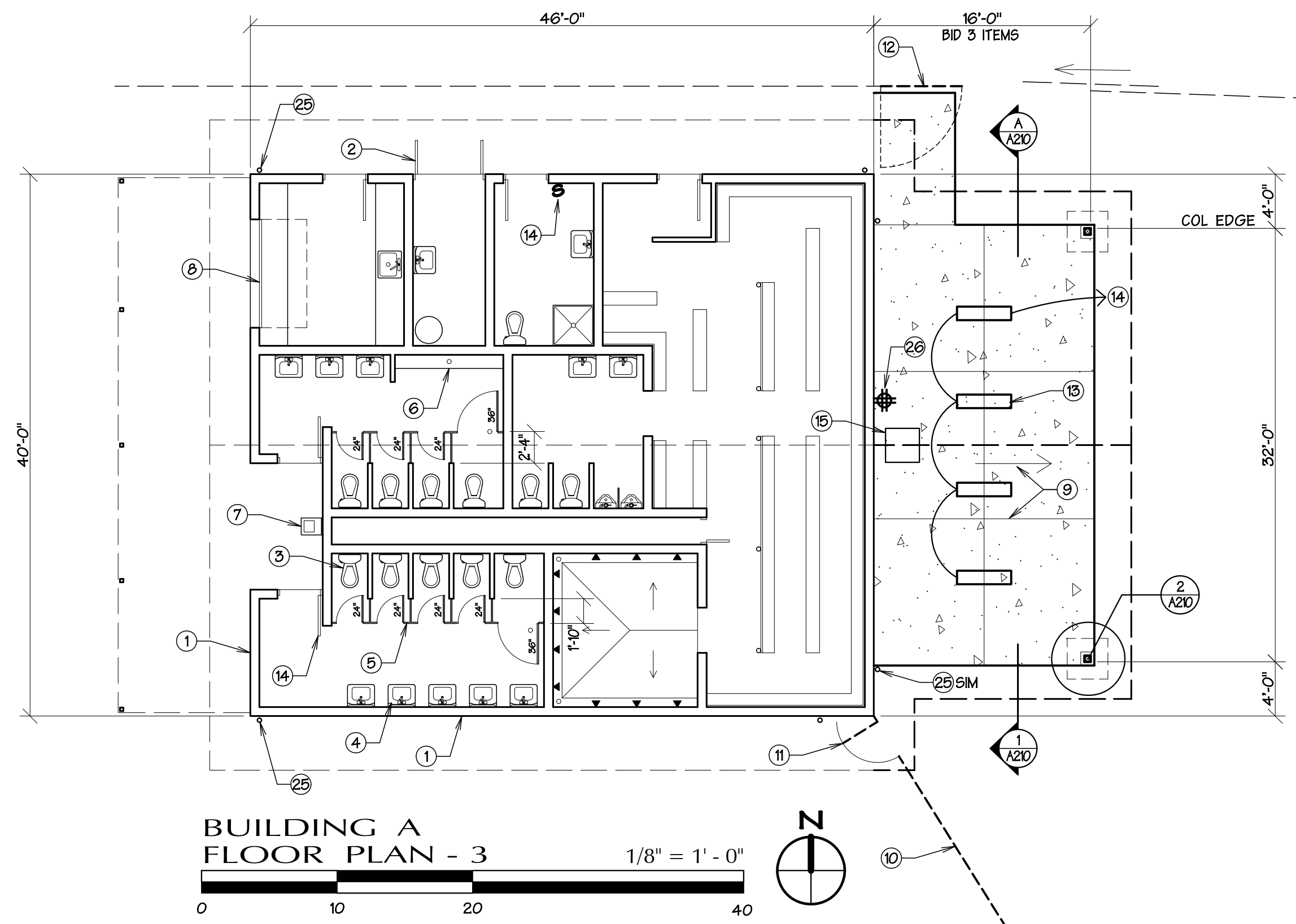
**PERMIT SET**

REVISIONS		
no	date	by

3399 REGISTERED ARCHITECT  
  
 ALAN E. GOZART  
 STATE OF WASHINGTON

project number 22-06  
 date 3.30.2023  
 file name 2206PSE  
 drawn by ACG  
 checked by AEG  
 title  
 Site, Bldg & Enlarged Plans & Notes

A100



**PLAN NOTES**

- 1 EXISTING CMU WALL, TYPICAL.
- 2 EXISTING METAL DOOR & FRAME, TYPICAL.
- 3 EXISTING TOILET, TYPICAL.
- 4 EXISTING SINK, TYPICAL.
- 5 PROVIDE NEW TOILET PARTITIONS, TYPICAL. REMOVE EXISTING PARTITIONS. NOTE DOOR SIZES SHOWN ON PLAN.
- 6 EXISTING TROUGH URINAL.
- 7 EXISTING DRINKING FOUNTAIN.
- 8 EXISTING ROLL-UP COUNTER DOOR.
- 9 CONTROL JOINT, TYPICAL. SLOPE CONCRETE 1/4" PER FOOT MINIMUM.
- 10 NEW CHAIN LINK FENCE - MATCH EXISTING. SEE SHEET A100 FOR CONTINUATION.
- 11 NEW 4'-0", SWING CHAIN LINK FENCE GATE.
- 12 REMOVE EXISTING 6'-0" SWINGING CHAIN LINK FENCE GATE. INFILL OPENING W/ CHAIN LINK FENCING TO MATCH EXISTING. THIS WORK IS INCLUDED IN BID 2 ITEMS.
- 13 SURFACE LIGHTING FIXTURE SD-1, TYPICAL. EXTEND POWER FROM NEAREST LOCATION (FIELD VERIFY).
- 14 TO PHOTOCELL CONTROL W/ SWITCH OVERRIDE IN JANITOR ROOM.
- 15 PROVIDE LOUVER W/ INSECT SCREEN IN SOFFIT. SIZE SO THAT FREE AIR AREA EQUALS EXISTING WALL MOUNTED LOUVER - FIELD VERIFY.
- 16 EXISTING BUILDING ROOF TRUSSES, TYPICAL.
- 17 NEW ROOF TRUSSES @ 24" ON CENTER, TYPICAL.
- 18 NEW 2 x OUTRIGGERS @ 24" ON CENTER, TYPICAL.
- 19 NEW GABLE TRUSS.
- 20 REMOVE EXISTING PLYWOOD SHEATHING & REPLACE W/ NEW 5/8" CDX SHEATHING W/ SHGT CLIPS @ MID-SPAN. PROVIDE 8d @ 6" O.C. AT PANEL EDGES & 8d @ 12" O.C. AT INTERMEDIATE FRAMING. PROVIDE BLKG AT ALL PANEL EDGES. TYPICAL BOTH A & B BUILDINGS.
- 21 REMOVE EXISTING METAL ROOFING & DISPOSE ALL DEBRIS OFF SITE & REPLACE W/ NEW ASPHALT SHINGLES & ICE/WATER UNDERLAYMENT, TYPICAL BOTH A & B BUILDINGS.
- 22 REMOVE EXISTING GUTTERS & REPLACE W/ NEW TO MATCH EXISTING, TYPICAL BOTH A & B BUILDINGS.
- 23 REMOVE EXISTING EAVE BOARDS & REPLACE W/ NEW TO MATCH EXISTING, TYPICAL BOTH A & B BUILDINGS.
- 24 REMOVE EXISTING RAKE BOARDS & REPLACE W/ NEW TO MATCH EXISTING, TYPICAL BOTH A & B BUILDINGS.
- 25 REMOVE EXISTING DOWNSPOUT. PROVIDE NEW 3" DIA. PVC DOWNSPOUT, TYPICAL BOTH A & B BUILDINGS. CONNECT DOWNSPOUTS TO EXISTING DRAINAGE SYSTEM, TYPICAL.
- 26 PROVIDE 4-PLEX GFCI RECEPTACLE W/ WEATHERPROOF COVER & CONDUIT. SURFACE MOUNTED 18" ABOVE CONCRETE SLAB.
- 27 REPLACE EXISTING METAL FLASHINGS AT ROOF PENETRATIONS W/ NEW GALVANIZED FLASHINGS AS REQ'D. TYPICAL BOTH A & B BUILDINGS.

**PLAN NOTES**

- 1 REMOVE & DISPOSE OF ALL DEBRIS OFFSITE, TYPICAL.
- 2 SEE PAINT SCHEDULE IN SPECIFICATIONS.

**ELEVATION NOTES**

- 1 EXISTING CMU. PAINT AS SPECIFIED.
- 2 EXISTING METAL ROOF STRUCTURE, TYPICAL.
- 3 NEW ASPHALT SHINGLE ROOF ASSEMBLY W/ RIDGE VENT, TYPICAL.
- 4 NEW GUTTER & EAVE BOARD, TYPICAL. MATCH EXISTING. PAINT AS SPECIFIED.
- 5 NEW RAKE BOARD, TYPICAL. MATCH EXISTING. PAINT AS SPECIFIED.
- 6 NEW PVC DOWNSPOUT, TYPICAL. PAINT AS SPECIFIED.
- 7 EXISTING METAL DOOR & FRAME, TYPICAL. PAINT AS SPECIFIED.
- 8 EXISTING ROLLING COUNTER DOOR.
- 9 EXISTING METAL SIDING, TYPICAL. PAINT AS SPECIFIED.
- 10 NEW METAL SIDING TO MATCH EXISTING. PAINT AS SPECIFIED.
- 11 EXISTING FOOTBALL SCOREBOARD. REMOVE TO ALLOW NEW ROOF WORK. AFTER ROOF WORK IS COMPLETE, REINSTALL IN SAME LOCATION USING SAME METAL ANGEL FRAMING, ETC. PREP & PAINT SUPPORT FRAMING AS SPECIFIED. BED SUPPORT ANGLES IN SEALANT WHERE BEARING ON NEW ROOF. PROVIDE NEW HDG FASTENERS TO MATCH EXISTING. PLACE SUPPORT ANGLES ON ROOF OVER EXISTING TRUSSES, TYPICAL. FIELD VERIFY ALL EXISTING CONDITIONS.

**PERMIT SET**

REVISIONS		
no	date	by
-	-	-

3399 REGISTERED ARCHITECT  
*Alan E. Gozart*  
ALAN E. GOZART  
STATE OF WASHINGTON

project number 22-06  
date 3.30.2023  
file name 2206PSE  
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title

Floor & Roof Plans, Bldg Section, Ext. Elevations, Details & Notes

**A210**